

ARCHITECTURAL REVIEW SET FOR HEUKER BROTHERS INC.

PRELIMINARY
PLAN
ONLY-NOT
FOR
CONSTRUCTION

CASCADE LOCKS, OREGON

HEUKER BROTHERS

CLIENT

HEUKER FAMILY LANDS LLC.
PO BOX 98
CASCADE LOCKS, OR 97014-0098
TELEPHONE: 503.705.2157
CONTACT: TIM HEUKER

CIDA, INC. ARCHITECT & STRUCTURAL

15895 SW 72ND AVENUE, SUITE 200
PORTLAND, OREGON 97224
TELEPHONE: 503.226.1285
FAX: 503.226.1670
CONTACT: JESSICA LUCAS & CURTIS GAGNER

AAI ENGINEERS CIVIL & LANDSCAPE

4875 SW GRIFFITH DRIVE
BEAVERTON OR, 97005
TELEPHONE: 503.620.3030
FAX: 503.620.5539
CONTACT: NORM SCHEG & TERESA LONG

PERLO CONTRACTOR

16101 SW 72ND AVENUE SUITE 200
PORTLAND OR 97224
TELEPHONE: 503.624.2090
FAX: 503.639.4134
CONTACT: DREW CARTER

PROJECT SUMMARY

THE PROPOSED PROJECT IS A 100'X200' FACILITY DESIGNED TO PROCESS FRESH FISH SOME WILL JUST BE CLEANED, FILLETED AND PACKED READY FOR SALE, WHILE OTHERS WILL BECOME DELICIOUS SMOKED MEAT. THE PROCESSING SIDE OF THE FACILITY IS DESIGNED TO BE FLEXIBLE AND ACCOMMODATE EITHER FUNCTION AS NEEDED WHILE STILL MAINTAINING A CLEAN ENVELOPE AND CLEAR FLOW FROM ONE AREA TO THE NEXT. THIS FACILITY WILL ALSO BE THE HEUKER BROTHERS HEADQUARTERS. OFFICE SPACE AND SUPPORTING EMPLOYEE FACILITIES AS WELL AS A MUCH NEEDED MAINTENANCE AREA TO SUPPORT THE FACILITY AND OTHER OPERATIONS.

THE PROPOSED BUILDING TO BE CONSTRUCTED WITH A COMBINATION OF INSULATED CONCRETE SANDWICH PANEL, STANDARD TILT AND A GABLE ROOF WITH STANDING SEAM METAL ROOFING. STOREFRONT GLAZING SYSTEMS WILL ENCLOSE THE OPENINGS AROUND THE OFFICE AREA AND OVERHEAD DOORS WILL BE THERMALLY INSULATED AND CORROSION RESISTANT.

ZONING SUMMARY

ADDRESS: 1475 NE COLUMBIA GORGE WAY CASCADE LOCKS OR, 97014
MAP NUMBER: RC1620 HOOD RIVER COUNTY
PROPERTY ID: T2NR8E SECTION 5 LOT 4
ZONE ID: HI HEAVY INDUSTRIAL
SITE AREA: 3.39 ACRES

BUILDING SUMMARY

GOVERNING CODE: CASCADE LOCKS COMMUNITY DEVELOPMENT CODE
PORT OF CASCADE LOCKS
2014 OREGON STRUCTURAL CODE
B, S-1 & F-1
SPRINKLED
III-B
TOTAL 24,750 SF
FOOT PRINT 20,000 SF

OCCUPANCY TYPE (OSSC 3.10.2):
SPRINKLERED VS. NON-SPRINKLERED
CONSTRUCTION TYPE (OSSC 602)
BUILDING AREA

ISSUED DATE
1 10.22.2018
SITE PLAN REVIEW



15895 SW 72ND AVE SUITE 200
PORTLAND, OREGON 97224
TEL: 503.226.1285
FAX: 503.226.1670
WWW.CIDAINC.COM

(NEW CONSTRUCTION) FOR
HEUKER BROTHERS
LOT 4
CASCADE LOCKS,
OREGON

COVER SHEET

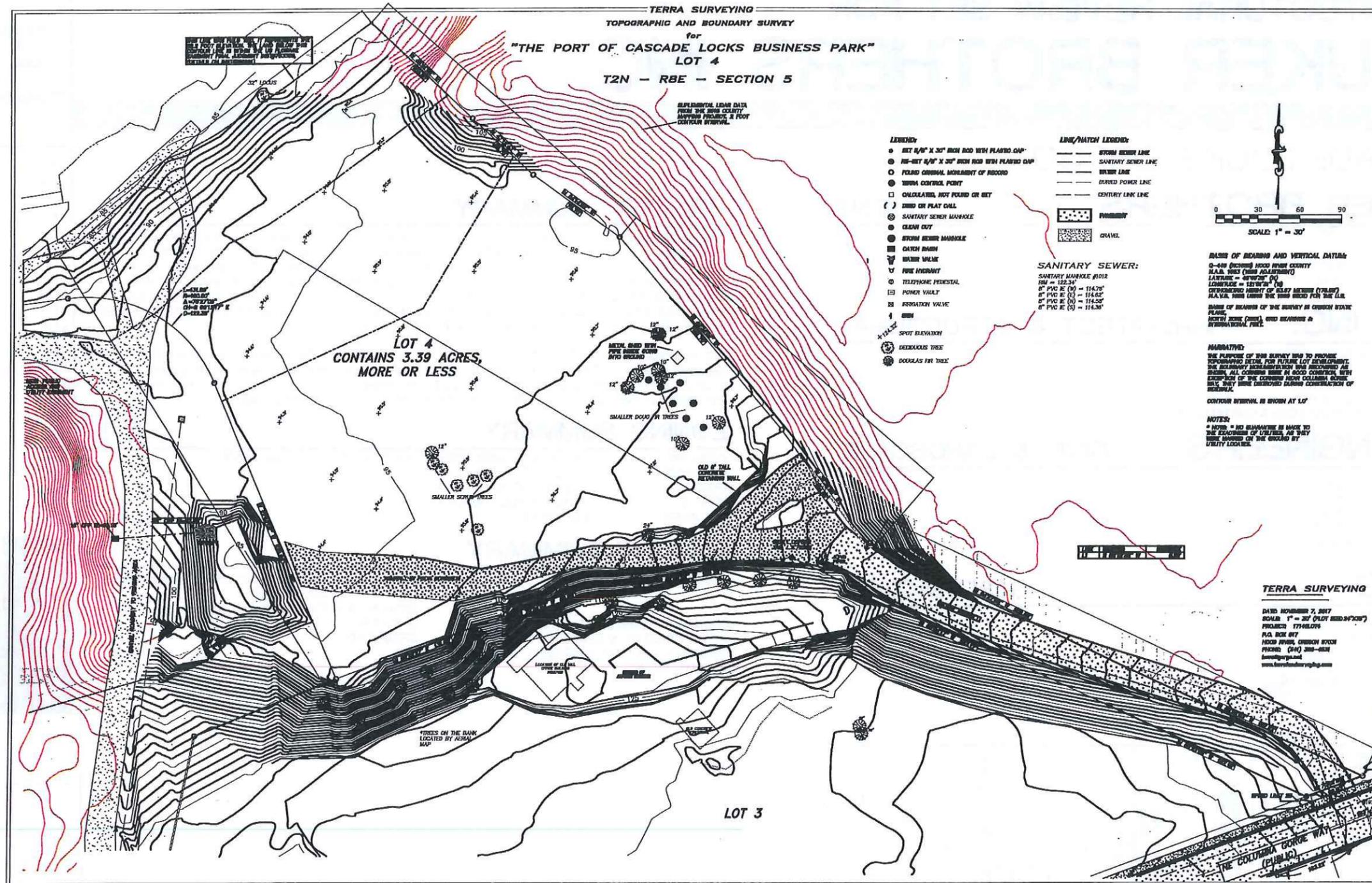
CS1.0

JOB NO. 170218.01

© 2017 CIDA, P.C./CDA ALL RIGHTS RESERVED

REV. DATE	DESCRIPTION	RELEASES	
		CURRENT RELEASE	NO CHANGES
10.22.2018	SITE REVIEW		
	COVER SHEET		
	CS1.0 COVER SHEET		
	SURVEY		
	VO.1 SURVEY		
	VO.2 EXISTING CONDITIONS		
	VO.3 SURROUNDING PARCEL INFORMATION		
	VO.4 RECORDED PLAT SIGNATURE PAGE		
	CIVIL		
	CO.1 EXISTING CONDITIONS		
	CO.2 DEMOLITION PLAN		
	CO.3 HARDSCAPE PLAN		
	CO.4 GRADING & EROSION CONTROL		
	CO.5 DRIVEWAY CENTERLINE PROFILE		
	CO.6 DRIVEWAY NORTH GUTTER		
	CO.7 DRIVEWAY SOUTH GUTTER		
	CO.8 UTILITY PLAN		
	CO.9 DETAILS		
	CO.10 DETAILS		
	CO.11 DETAILS		
	CO.12 DETAILS		
	CO.13 DETAILS		
	LANDSCAPE		
	L1.0 LANDSCAPE PLAN		
	L1.0A LANDSCAPE PLAN		
	L1.0B TREE PROTECTION		
	L2.0A PLANTING LEGEND & LANDSCAPE DETAILS		
	L2.0B PLANTING DETAILS		
	ARCHITECTURAL		
	A0.1 ARCHITECTURAL SITE PLAN		
	A0.2 SITE LIGHTING PLAN		
	A1.1 GROUND LEVEL FLOOR PLAN		
	A1.5 SECOND LEVEL FLOOR PLAN		
	A1.8 ROOF PLAN		
	A2.0 RENDERINGS		
	A2.1 BUILDING ELEVATIONS		

C:\Users\jessica\AppData\Local\Temp\Temp\Pub\13172\CS1.0 COVER SHEET.dwg Oct 24, 2018 - 9:50am



**PRELIMINARY
 PLAN
 ONLY-NOT
 FOR
 CONSTRUCTION**

ISSUED DATE

CIDA
 ARCHITECTURE
 ENGINEERING
 PLANNING
 INTERIORS

15895 SW 72ND AVE SUITE 200
 PORTLAND, OREGON 97224
 TEL: 503.226.1285
 FAX: 503.226.1670
 WWW.CIDAINC.COM

(NEW CONSTRUCTION) FOR
HEUKER BROTHERS
LOT 4
CASCADE LOCKS,
OREGON

SURVEY
V0.1
 JOB NO. 170218.01
 © 2017 CIDA, P.C./CIDA ALL RIGHTS RESERVED

NORTH
 1 SURVEY
 V0.1 SCALE: 1"=50'

C:\Users\jastick\appdata\local\temp\AspPublish_8503\VO.1_SURVEY.dwg Oct. 16, 2018 - 11:25am

TERRA SURVEYING
 PLAT OF
 "THE PORT OF CASCADE LOCKS BUSINESS PARK" SUBDIVISION
 FOR
 THE PORT OF CASCADE LOCKS, A MUNICIPAL CORPORATION OF THE STATE OF OREGON

HOOD RIVER COUNTY
 SURVEYOR'S OFFICE
 CS# 2015 007
 DATE FILED: 2-20-15
 BY: [Signature]

PRELIMINARY
 PLAN
 ONLY-NOT
 FOR
 CONSTRUCTION

LINE	BEARING	DISTANCE
L49	N 10°10'56" E	121.78'
L50	N 24°45'40" W	216.34'
L51	N 51°02'58" W	80.27'
L52	N 06°28'08" W	262.49'
L53	N 08°18'18" E	175.76'
L54	S 08°43'00" E	144.86'
L55	S 82°03'02" W	66.83'
L56	S 22°29'58" E	128.94'
L57	S 31°53'38" E	147.73'
L58	S 31°53'38" E	127.82'
L59	N 10°12'38" W	127.24'
L60	N 89°03'00" W	133.85'
L61	N 20°10'03" W	22.01'

FOUND 3 1/4" U.S.D.A FOREST SERVICE L.S.2209 1990 ALUMINUM CAP REFERENCE MONUMENT FOR WEST QUARTER CORNER OF SECTION 5. STAMPED N 43°44' W, 153.4'

NEW: PUBLIC USE RECREATION EASEMENT, LOCATED 100 FOOT FROM THE ORDINARY HIGH WATER MARK OF HERMAN CREEK. THIS LINE WAS DERIVED FROM C.S. 2004-035.

DETAIL A
 FOUND 5/8" IRON ROD, CAP MELTED
 NOT TO SCALE

FOREST LANE HAS A VARIABLE WIDTH RIGHT OF WAY, PER 1874 DEED FROM THE PORT TO THE COUNTY (UNRECORDED). THIS DOCUMENT CAN BE FOUND IN THE VAULT LOCATED IN HOOD RIVER COUNTY OFFICE OF PUBLIC WORKS. THE PURPOSE WAS TO SMOOTH THE CURVE TO A 12' CURVE TO PROTECT HERMAN CREEK FROM POTENTIAL SPILLS.

LINE	BEARING	DISTANCE
L44	N 81°18'39" E	40.42'
L45	N 87°39'44" W	51.45'
L46	N 50°59'00" E	182.38'
L47	N 49°56'17" W	160.64'
L48	S 02°41'05" E	103.22'

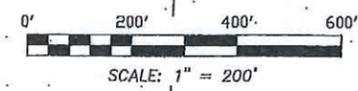
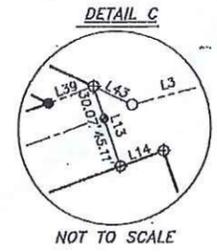
BRASS CAP FOUND MONUMENTING SOUTHWEST CORNER OF SECTION 5, TIED PREVIOUSLY.

LOT 7
 "NOT SURVEYED"
 CONTAINS 189.28 ACRES,
 MORE OR LESS

THIS LINE WAS FIELD TIED, IT REPRESENTS THE 82.2 FOOT ELEVATION. THE LAND BELOW THIS CONTOUR LINE IS WITHIN THE US FLOWAGE EASEMENT FINAL JUDGMENT INST#783358, (DETAILS ON INST#780191)

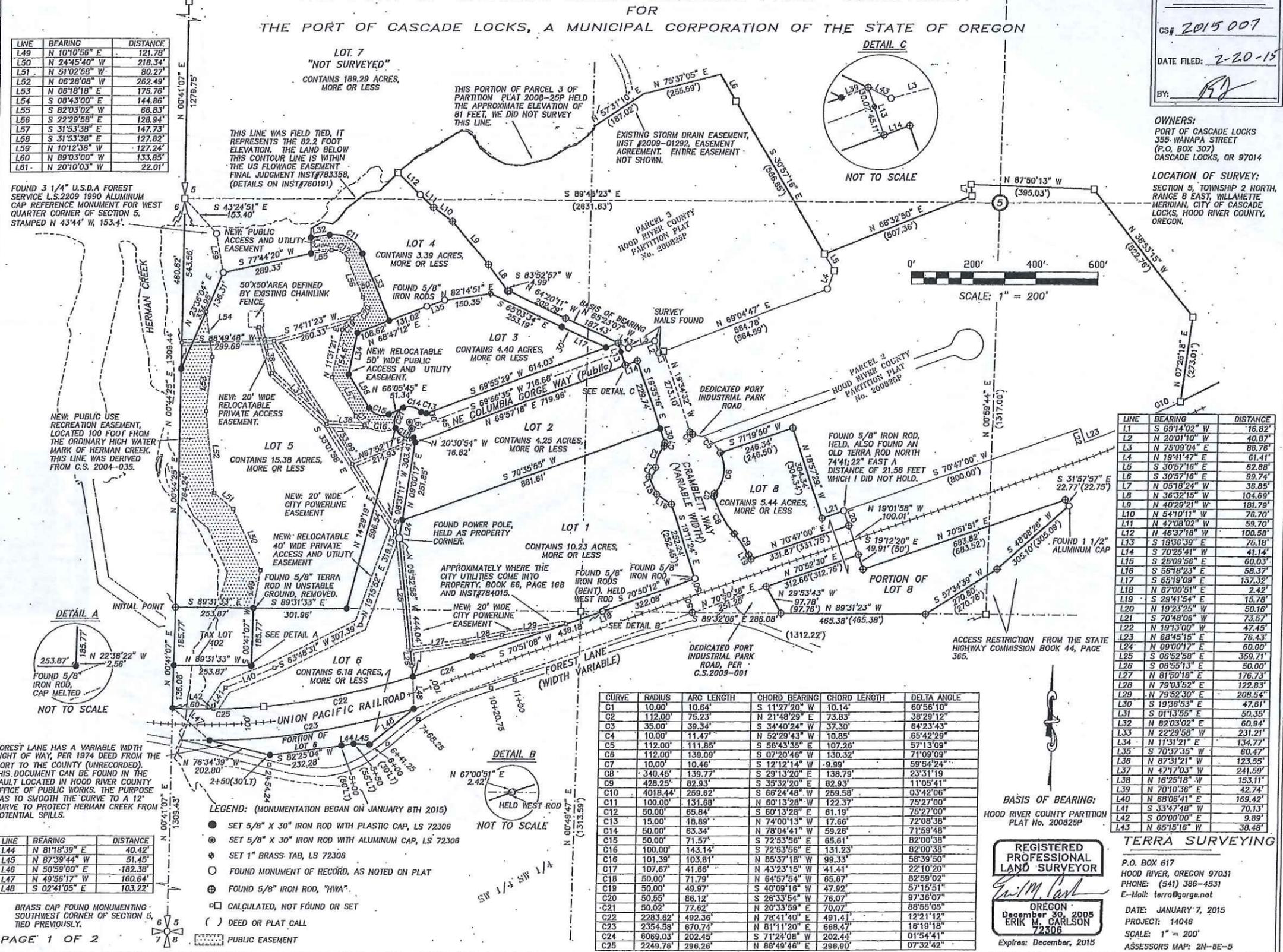
THIS PORTION OF PARCEL 3 OF PARTITION PLAT 2008-26P HELD THE APPROXIMATE ELEVATION OF 81 FEET, WE DID NOT SURVEY THIS LINE.

EXISTING STORM DRAIN EASEMENT, INST #2009-01292, EASEMENT AGREEMENT, ENTIRE EASEMENT NOT SHOWN.



OWNERS:
 PORT OF CASCADE LOCKS
 355 WANAPA STREET
 (P.O. BOX 307)
 CASCADE LOCKS, OR 97014

LOCATION OF SURVEY:
 SECTION 5, TOWNSHIP 2 NORTH,
 RANGE 8 EAST, WILLAMETTE
 MERIDIAN, CITY OF CASCADE
 LOCKS, HOOD RIVER COUNTY,
 OREGON.



LINE	BEARING	DISTANCE
L1	S 69°14'02" W	16.82'
L2	N 20°01'10" W	40.87'
L3	N 78°09'04" E	86.78'
L4	N 19°41'47" E	61.41'
L5	S 30°57'16" E	62.88'
L6	S 30°57'16" E	99.74'
L7	N 05°18'24" W	36.85'
L8	N 36°32'15" W	104.69'
L9	N 40°29'21" W	181.79'
L10	N 54°10'11" W	76.70'
L11	N 47°08'02" W	59.70'
L12	N 46°37'18" W	100.58'
L13	S 19°36'39" E	75.18'
L14	S 70°25'41" W	41.14'
L15	S 28°09'56" E	60.03'
L16	S 56°18'23" E	58.37'
L17	S 65°19'09" E	137.32'
L18	N 67°00'51" E	2.42'
L19	S 29°41'54" E	15.78'
L20	N 19°23'25" W	50.16'
L21	S 70°48'06" W	73.57'
L22	N 19°13'00" W	47.45'
L23	N 68°45'15" E	76.43'
L24	N 09°00'17" E	60.00'
L25	S 06°52'58" E	359.71'
L26	S 06°55'13" E	50.00'
L27	N 81°50'18" E	176.73'
L28	N 79°03'52" E	122.83'
L29	N 79°52'30" E	208.54'
L30	S 19°36'53" E	47.81'
L31	S 01°13'55" E	50.35'
L32	N 82°03'02" E	60.94'
L33	N 22°29'58" W	231.21'
L34	N 11°31'21" E	134.77'
L35	S 70°37'35" W	60.47'
L36	N 87°31'21" W	123.55'
L37	N 47°17'03" W	241.59'
L38	N 16°25'18" W	153.11'
L39	N 70°10'36" E	42.74'
L40	N 68°06'41" E	169.42'
L41	S 33°47'48" W	70.13'
L42	S 00°00'00" E	9.89'
L43	N 65°16'16" W	38.48'

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	DELTA ANGLE
C1	10.00'	10.64'	S 11°27'20" W	10.14'	60°56'10"
C2	112.00'	75.23'	N 21°48'29" E	73.83'	38°29'12"
C3	35.00'	39.34'	S 34°40'24" W	37.30'	64°23'43"
C4	10.00'	11.47'	N 52°29'43" W	10.85'	65°42'28"
C5	112.00'	111.85'	S 86°43'35" E	107.26'	57°13'08"
C6	112.00'	139.09'	S 07°20'46" W	130.32'	71°09'09"
C7	10.00'	10.46'	S 12°12'14" W	9.98'	59°54'24"
C8	340.45'	139.77'	S 29°13'20" E	138.79'	23°31'19"
C9	428.25'	82.93'	S 35°32'20" E	82.93'	11°05'41"
C10	4018.44'	259.82'	S 66°24'48" W	259.59'	03°42'06"
C11	100.00'	131.59'	N 60°13'28" W	122.37'	75°27'00"
C12	50.00'	65.64'	N 74°00'13" E	61.19'	75°27'00"
C13	15.00'	18.69'	N 78°04'41" W	17.66'	72°08'38"
C14	50.00'	63.34'	N 78°04'41" W	59.25'	71°59'48"
C15	50.00'	71.57'	S 72°53'56" E	65.61'	82°00'38"
C16	100.00'	143.14'	S 72°53'56" E	131.23'	82°00'38"
C17	107.67'	41.68'	N 85°37'18" W	99.33'	58°39'50"
C18	50.00'	71.79'	N 43°23'15" W	41.41'	22°10'20"
C19	50.00'	49.97'	N 64°57'54" W	65.67'	82°59'02"
C20	50.85'	86.12'	S 40°09'16" W	47.92'	57°15'51"
C21	50.02'	77.62'	S 26°33'54" W	76.07'	97°36'07"
C22	2283.62'	492.36'	N 20°33'59" E	70.07'	88°55'05"
C23	2354.58'	670.74'	N 78°41'40" E	491.41'	12°21'12"
C24	6069.03'	202.45'	N 81°11'20" E	668.47'	16°19'18"
C25	2249.76'	296.26'	S 71°24'08" W	202.44'	01°34'41"
			N 88°49'46" E	296.90'	07°32'42"

REGISTERED PROFESSIONAL LAND SURVEYOR
 ERIK M. CARLSON
 December 30, 2005
 ERIK M. CARLSON
 72306
 Expires: December, 2015

TERRA SURVEYING
 P.O. BOX 617
 HOOD RIVER, OREGON 97031
 PHONE: (541) 386-4531
 E-Mail: terra@gorge.net
 DATE: JANUARY 7, 2015
 PROJECT: 14046
 SCALE: 1" = 200'
 ASSESSORS MAP: 2N-DE-5

(NEW CONSTRUCTION) FOR
 HEUKER BROTHERS
 LOT 4
 CASCADE LOCKS,
 OREGON

SURROUNDING PARCELS
V0.3
 JOB NO. 170218.01

C:\Users\jessica\AppData\Local\Temp\Ve\Publish_6500\Vol3_SURROUNDING PARCELS.dwg Oct 15, 2018 - 12:11pm

"THE PORT OF CASCADE LOCKS BUSINESS PARK" SUBDIVISION

FOR

THE PORT OF CASCADE LOCKS, A MUNICIPAL CORPORATION OF THE STATE OF OREGON

HOOD RIVER COUNTY SURVEYOR'S OFFICE
CS# 2015 007
DATE FILED: 2-20-16
BY: RA

SURVEYOR'S CERTIFICATE:

I, ERIK M. CARLSON, REGISTERED LAND SURVEYOR FOR THE STATE OF OREGON, BEING FIRST DULY SWORN, DEPOSED AND SAY THAT I HAVE CORRECTLY SURVEYED THE PROPERTY DESCRIBED IN THE LEGAL DESCRIPTION AND MARKED WITH LEGAL MONUMENTS THE LAND REPRESENTED ON THE PLAT OF "PORT OF CASCADE LOCKS BUSINESS PARK SUBDIVISION" HOOD RIVER COUNTY, STATE OF OREGON. THE SAID PROPERTY IS DESCRIBED AS FOLLOWS:

TRACT 1: ALL THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 2 NORTH, RANGE 8 EAST OF THE WILLAMETTE MERIDIAN IN THE COUNTY OF HOOD RIVER AND STATE OF OREGON, WHICH LIES NORTHERLY OF FOREST LANE. EXCEPTING THEREFROM THE FOLLOWING DESCRIBED TRACT OF LAND: BEGINNING AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 5; THENCE NORTH 89°33'35" WEST A DISTANCE OF 253.09 FEET; THENCE SOUTH 00°32'34" WEST A DISTANCE OF 186.06 FEET; THENCE SOUTH 89°29'41" WEST A DISTANCE OF 253.87 FEET TO THE WEST LINE OF SAID SECTION 5; THENCE NORTH 00°47'01" EAST ALONG SAID LINE TO THE POINT OF BEGINNING.

TRACT 2: PARCEL 1 OF PARTITION PLAT No. 2008-25P, LOCATED IN SECTION 5, TOWNSHIP 2 NORTH, RANGE 8 EAST, WILLAMETTE MERIDIAN IN THE CITY OF CASCADE LOCKS, HOOD RIVER COUNTY AND STATE OF OREGON AS RECORDED ON DECEMBER 31, 2008, INSTRUMENT NO. 2008-04750 IN THE OFFICIAL RECORDS OF HOOD RIVER COUNTY, HOOD RIVER, OREGON.

Signature of Erik M. Carlson, ERIK M. CARLSON, PLS 72306

LOCATION OF SURVEY: SECTION 5, TOWNSHIP 2 NORTH, RANGE 8 EAST, WILLAMETTE MERIDIAN, CITY OF CASCADE LOCKS, HOOD RIVER COUNTY, OREGON.

NARRATIVE:

THE PURPOSE OF THIS SURVEY WAS TO PLAT EXISTING PROPERTY OWNED BY THE PORT OF CASCADE LOCKS. THE BOUNDARY WAS RESOLVED BY RE-TRACING A 2009 PARTITION PLAT (BASIS OF BEARING) WITH CONJUNCTION WITH HISTORIC BOUNDARY TIES BY TERRA SURVEYING. I FOUND MOST OF THE MONUMENTATION SET BY GAYLORD, L.S.1815 MATCHED FAIRLY WELL WITH THE 2009 PARTITION PLAT MONUMENTATION, WITH EXCEPTION OF THE MONUMENTS ALONG THE SOUTH LINE OF PARCEL 2 OF SAID PLAT No. 2009-001, WHICH WERE SET IN 1981 (C.S.81098) AND NO EXPLANATION WAS GIVEN FOR METHOD USED. TO DETERMINE THE UNION PACIFIC RIGHT OF WAY WE TIED THE CENTERLINE TRACKS AND OFFSET 50 FOOT TO THE NORTH AND SOUTH IN ORDER TO MONUMENT THE 100 FOOT RIGHT OF WAY AS THE TRACKS CAN BE USED AS A PHYSICAL MONUMENT OF THE RAILROAD PROPERTY.

DETAILS ON SPECIFIC MONUMENTS AND DETAILS OF NEW AND EXISTING EASEMENTS OF THIS SUBDIVISION ARE ON THE FACE OF THIS PLAT.

SEE NOTE REGARDING SET MONUMENTS AT THE BOTTOM OF THIS PAGE (O.R.S. 92.044 (7)).

RECORDING INFORMATION:

PLAT NUMBER: 2015 0436
INSTRUMENT RECEIVED ON THE 18th DAY OF FEBRUARY, 2015 AT 2:27 PM.
HOOD RIVER COUNTY CLERK

ACKNOWLEDGMENT:

ON THIS 9th DAY OF February, 2015, BEFORE ME A NOTARY PUBLIC FOR THE STATE OF OREGON, PERSONALLY APPEARED Jesse Corvies, AS A REPRESENTATIVE OF THE PORT OF CASCADE LOCKS. KNOWN TO ME PERSONALLY, BEING FIRST DULY SWORN, SAID THAT HE/SHE DID ACKNOWLEDGE THIS INSTRUMENT OF HIS/HER FREE AND VOLUNTARY ACT.

Signature of Notary, SIGNATURE OF NOTARY: Melissa Ann Warson
PRINTED NAME: Melissa Ann Warson
NOTARY PUBLIC FOR THE STATE OF OREGON
COUNTY OF Hood River
COMMISSION NUMBER 474482
MY COMMISSION EXPIRES January 2, 2017

DECLARATION AND DEDICATION:

I, Jesse Corvies, REPRESENTATIVE OF THE PORT OF CASCADE LOCKS, AS OWNER OF THE LAND SHOWN ON THE PLAT HEREUNTO ATTACHED AND MORE PARTICULARLY DESCRIBED IN THE SURVEYOR'S CERTIFICATE, ALSO HEREUNTO ATTACHED, DEDICATE TO THE PUBLIC FOREVER ALL STREETS, PATHWAYS AND EASEMENTS SHOWN ON SUCH PLAT AND DECLARE THE PLAT OF "THE PORT OF CASCADE LOCKS BUSINESS PARK" TO BE A CORRECT PLAT AS LOCATED IN SECTION 35, TOWNSHIP 2 NORTH, RANGE 8 EAST, WILLAMETTE MERIDIAN, HOOD RIVER COUNTY, OREGON.

Signature of Jesse Corvies, REPRESENTATIVE OF THE PORT OF CASCADE LOCKS

PORT OF CASCADE LOCKS BUSINESS PARK DESIGN GUIDELINES

THE DESIGN GUIDELINES FOR "THE PORT OF CASCADE LOCKS BUSINESS PARK" ADOPTED AS RESOLUTION No. 2014-6 UNDER SEPARATE DOCUMENT. PORT OF CASCADE LOCKS DECLARATION OF PROTECTIVE COVENANTS, CONDITIONS AND RESTRICTIONS DATED MARCH 6TH 2001 AND APPROVED MARCH 15TH 2001 ARE RESCINDED.

REFERENCES:

- HOOD RIVER COUNTY SURVEY #1484
HOOD RIVER COUNTY SURVEY #894
HOOD RIVER COUNTY SURVEY #895
HOOD RIVER COUNTY SURVEY #917
HOOD RIVER COUNTY SURVEY #81098
HOOD RIVER COUNTY SURVEY #90028
HOOD RIVER COUNTY SURVEY #90081
HOOD RIVER COUNTY SURVEY #2004-035
HOOD RIVER COUNTY SURVEY #2009-001

NOTE REGARDING SET MONUMENTS:

ORS 92.044(7). UNLESS SPECIFICALLY REQUESTED BY A PUBLIC OR PRIVATE UTILITY PROVIDER, THE GOVERNING BODY OF A CITY OR COUNTY MAY NOT REQUIRE A UTILITY EASEMENT EXCEPT FOR A UTILITY EASEMENT ABUTTING A STREET, UTILITY INFRASTRUCTURE MAY NOT BE PLACED WITHIN ONE FOOT OF A SURVEY MONUMENT LOCATION NOTED ON A SUBDIVISION OR PARTITION PLAT. THE GOVERNING BODY OF A CITY OR COUNTY MAY NOT PLACE ADDITIONAL RESTRICTIONS OR CONDITIONS ON A UTILITY EASEMENT GRANTED UNDER THIS CHAPTER.

EASEMENT REFERENCES:

- PRELIMINARY TITLE REPORT FILE No. 19962AM, DATED SEPT 17TH 2014.
8) RIGHTS OF PUBLIC AND GOVERNMENTAL AGENCIES IN AND TO THAT PORTION OF THE PREMISES LYING BELOW THE ORDINARY HIGH WATERMARK OF THE COLUMBIA RIVER AND OF THE BONNEVILLE POOL (BONNEVILLE LAKE).
9) HOOD RIVER COUNTY RECORDS, BOOK A, PAGE 187. OREGON RAILWAY RIGHT OF WAY, 50 EITHER SIDE OF EXISTING RAIL CENTERLINE AS SHOWN.
10) HOOD RIVER COUNTY RECORDS, BOOK H, PAGE 119. TELEGRAPH EASEMENT DESCRIBED GENERAL IN NATURE, EXISTING COMMUNICATION LINES WITHIN CRAMBLETT WAY.
11) HOOD RIVER COUNTY RECORDS, BOOK 10, PAGE 473. HOOD RIVER COUNTY RIGHT OF WAY ON FOREST LANE, ADDITIONAL RIGHTS ACQUIRED IN 1974 AS SHOWN.
12) HOOD RIVER COUNTY RECORDS, BOOK 22, PAGE 148, PACIFIC TELEPHONE AND TELEGRAPH EASEMENT, GENERAL IN NATURE. PARTIAL RELEASE ON INST#782783 ACROSS DEED BOOK 7, PAGE 614 AND DEED BOOK 8, PAGE 637.
13) HOOD RIVER COUNTY RECORDS, BOOK 25, PAGE 531. (1936) USA FLOWAGE EASEMENT THE LAND ABOVE THE 72 FOOT ELEVATION LINE AND BELOW THE 93.9 FOOT ELEVATION LINE, ALSO THE BACKWATER CURVE. THIS EASEMENT WOULD BE MORE SPECIFICALLY RE-DEFINED ON INST#780191, AS 82.20 FEET RATHER THAN 93.9.
14) HOOD RIVER COUNTY RECORDS, BOOK 25, PAGE 476. (1936) JUDGMENT FOR AN EASEMENT, ALLOWS FOR FLOODING UP TO THE 92 FOOT CONTOUR LINE (NGVD29), THIS ELEVATION WAS LOWERED TO 82.2 FOOT ELEVATION ON INST#780191.
15) HOOD RIVER COUNTY RECORDS, BOOK 26, PAGE 631. PACIFIC TELEPHONE LINE BEING PLACED CLOSE TO RAIL LINE, NOT SPECIFIC.
16) HOOD RIVER COUNTY RECORDS, BOOK 44, PAGE 365. STATE OF OREGON LIMITS ACCESS RIGHTS TO THE EXISTING ENTRY TO EXISTING CRAMBLETT WAY.
17) HOOD RIVER COUNTY RECORDS, BOOK 44, PAGE 598. STATE OF OREGON LIMITS ACCESS RIGHTS TO EXISTING INDUSTRIAL PARK, SHOWN ACCESS LOCATION.
18) HOOD RIVER COUNTY RECORDS, BOOK 66, PAGE 168. GRANTED TO THE CITY OF CASCADE LOCKS. EASEMENT NOT TO EXCEED 20 FEET FROM EXISTING POLES. THE POWERLINE COMES FROM THE SOUTHSIDE OF PROPERTY, GENERAL LOCATION GIVEN.
19) HOOD RIVER COUNTY RECORDS, INST#780191. FINAL JUDGMENT TO CREATE THE FLOWAGE EASEMENT LIMITED TO 82.2 FEET (NGVD). SHOWN ON PLAT ON NORTH BOUNDARY OF LOT 4.
20) HOOD RIVER COUNTY RECORDS, INST#784015. EASEMENT TO THE CITY OF CASCADE LOCKS TO SUPPLY UTILITIES, ROUGH LOCATION SHOWN ON PLAT, EASEMENT SHOWN REPRESENTS LOCATION OF POWER POLE.
21) HOOD RIVER COUNTY RECORDS, INST#880152. MAJOR PARTITION CREATED IN 1988. THIS PARTITION HAS SINCE BEEN REPLATTED ON PARTITION PLAT#2008-25P AND EASEMENTS ARE WITHIN THE EXPANDED RECENT DEDICATION.
22) HOOD RIVER COUNTY RECORDS, INST#910055. TELEPHONE RIGHT OF WAY. DESCRIBES PORT PROPERTY BUT NOT LOCATION OF EASEMENT, THEREFORE GENERAL IN NATURE.
23) HOOD RIVER COUNTY RECORDS, INST#961272. NOT A PART OF THIS PLAT OR WITHIN DEDICATED ROADWAY.
24) HOOD RIVER COUNTY RECORDS, INST#961274. WITHIN EXISTING DEDICATED ROADWAY.
25) HOOD RIVER COUNTY RECORDS, INST#20001782. EASEMENT GRANTED TO WARM SPRINGS FOR THE AREA KNOWN AS GOVERNMENT ROCK. PAGE TWO STATES, "THE PROPERTY BY USE OF SOME MEANS OTHER THAN EASEMENT HERE GRANTED, THE EASEMENT HERE GRANTED SHALL, AT GRANTOR'S OPTION, BE DEEMED ABANDONED BY GRANTEE." I BELIEVE THIS IS THE CASE ON THIS DOCUMENT. THE AREA DISCUSSED IS LOCATED IN THE UNSURVEYED PORTION OF LOT 7.
26) HOOD RIVER COUNTY RECORDS, INST#20037728 AND #20042869, WELL INFORMATION FORA.
27) HOOD RIVER COUNTY RECORDS, 2009-01292. EASEMENT AGREEMENT AS SHOWN.

APPROVALS:

THE PLAT OF "THE PORT OF CASCADE LOCKS BUSINESS PARK" WAS EXAMINED AND APPROVED BY ME THIS 12th DAY OF FEBRUARY, 2015. Signature of Hood River County Surveyor.

THE PLAT OF "THE PORT OF CASCADE LOCKS BUSINESS PARK" WAS EXAMINED AND APPROVED BY ME THIS 17th DAY OF February, 2015. Signature of Chairperson Hood River County Commissioners.

THE PLAT OF "THE PORT OF CASCADE LOCKS BUSINESS PARK" WAS EXAMINED AND APPROVED BY ME THIS 12th DAY OF FEBRUARY, 2015. Signature of City of Cascade Locks, Public Works.

THE PLAT OF "THE PORT OF CASCADE LOCKS BUSINESS PARK" WAS EXAMINED AND APPROVED BY ME THIS 11th DAY OF February, 2015. Signature of Hood River County Commissioner.

THE PLAT OF "THE PORT OF CASCADE LOCKS BUSINESS PARK" WAS EXAMINED AND APPROVED BY ME THIS 18th DAY OF FEBRUARY, 2015. Signature of Hood River County Recorder.

THE PLAT OF "THE PORT OF CASCADE LOCKS BUSINESS PARK" WAS EXAMINED AND APPROVED BY ME THIS 17th DAY OF February, 2015. Signature of Hood River County Commissioner.

THE PLAT OF "THE PORT OF CASCADE LOCKS BUSINESS PARK" WAS EXAMINED AND APPROVED BY ME THIS 12th DAY OF February, 2015. Signature of City of Cascade Locks Planning Dept.

THE PLAT OF "THE PORT OF CASCADE LOCKS BUSINESS PARK" WAS EXAMINED AND APPROVED BY ME THIS 17th DAY OF February, 2015. Signature of Hood River County Commissioner.

THE PLAT OF "THE PORT OF CASCADE LOCKS BUSINESS PARK" WAS EXAMINED AND APPROVED BY ME THIS 10th DAY OF FEBRUARY, 2015. Signature of Administrator, City of Cascade Locks.

THE PLAT OF "THE PORT OF CASCADE LOCKS BUSINESS PARK" WAS EXAMINED AND APPROVED BY ME THIS 20th DAY OF February, 2015. Signature of Hood River County Commissioner.

APPROVALS:

THE DIRECTOR OF RECORDS AND ASSESSMENTS, AND THE DIRECTOR OF BUDGET AND FINANCE AND TAX COLLECTOR, RESPECTIVELY, OF HOOD RIVER COUNTY, OREGON, HEREBY CERTIFY THAT WE HAVE EXAMINED THE PLAT OF "THE PORT OF CASCADE LOCKS BUSINESS PARK" IN THE COUNTY OF HOOD RIVER AND THAT THE NAME ADOPTED FOR SAID PLAT IS A PROPER NAME AND NOT INCLUDED IN ANY OTHER SUBDIVISION IN HOOD RIVER COUNTY, AND FURTHER CERTIFY THAT ALL ASSESSMENTS DUE HEREON HAVE BEEN FULLY PAID AS REQUIRED BY LAW AND WE HEREBY APPROVE SAID PLAT.

Signature of Hood River County Director of Budget and Finance, Treasurer/Tax Collector.

Signature of Hood River County Director of Records and Assessments.

PRELIMINARY PLAN ONLY-NOT FOR CONSTRUCTION

CIDA ARCHITECTURE ENGINEERING PLANNING INTERIORS

15895 SW 72ND AVE SUITE 200 PORTLAND, OREGON 97224 TEL: 503.226.1285 FAX: 503.226.1670 WWW.CIDAINC.COM

HEUKER BROTHERS LOT 4 CASCADE LOCKS, OREGON

RECORDED PLAT VO.4

JOB NO. 170218.01

© 2017 CIDA, P.C./CIDA. ALL RIGHTS RESERVED

1 RECORDED PLAT INFORMATION VO.4 NOTE THIS IS AN IMAGE COPY OF THE ORIGINAL FOR REFERENCE ONLY

TERRA SURVEYING

P.O. BOX 617
 HOOD RIVER, OREGON 97031
 PHONE: (541) 386-4531
 terra@gorge.net
 www.terralandsurveying.com

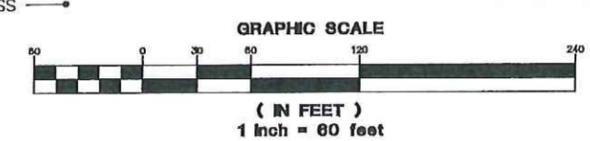


SURVEYOR NOTES

NO GUARANTEE IS MADE TO THE EXACTNESS OF UTILITIES, AS THEY WERE MARKED ON THE GROUND BY UTILITY LOCATES.

SHEET NOTES

STORM SEWER LINE	— SS — SS — SS — SS —
SANITARY SEWER LINE	— SS — SS — SS — SS —
WATER LINE	— W — W — W — W —
BURIED POWER LINE	— B — B — B — B —
CENTURY LINK LINE	— C — C — C — C —
SANITARY SEWER MANHOLE	⊙ (SS)
CLEAN OUT	⊙ (C)
STORM SEWER MANHOLE	⊙ (S)
CATCH BASIN	⊙ (CB)
WATER VALVE	⊙ (W)
FIRE HYDRANT	⊙ (FH)
TELEPHONE PEDESTAL	⊙ (TP)
POWER VAULT	⊙ (PV)
IRRIGATION VALVE	⊙ (IV)
SIGN	⊙ (S)
DECIDUOUS TREE	⊙ (DT)
DOUGLAS FIR TREE	⊙ (DF)



ISSUED DATE

AAI alphan associates inc
ENGINEERING
4875 SW 60th Drive | Suite 200 | Beaverton, OR | 97005
 503.620.2000 | 503.620.2039 | terra@gorge.net
 Project No. A18037.10

CIDA
 ARCHITECTURE
 ENGINEERING
 PLANNING
 INTERIORS

15895 SW 72ND AVE SUITE 200
 PORTLAND, OREGON 97224
 TEL: 503.226.1285
 FAX: 503.226.1870
 WWW.CIDAINC.COM

(NEW CONSTRUCTION) FOR
 HEUKER BROTHERS
 LOT 4
 CASCADE LOCKS,
 OREGON

EXISTING CONDITIONS

C0.1

JOB NO. 170218.01
 © 2017 CIDA, P.C./CIDA ALL RIGHTS RESERVED

F:\2018\18037.10 - Heuker Brothers\Civil_Cons\Sheets\Qualita\A18037.10.C01.Ex_Cond.dwg Oct 16, 2018 - 1:45pm



SHEET NOTES

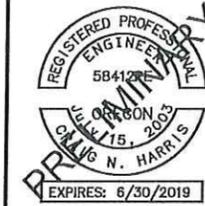
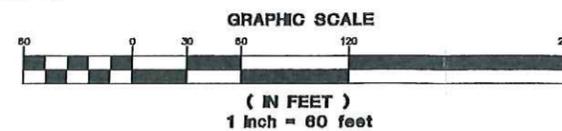
1. CONTRACTOR MAY STAGE WITHIN LIMITS OF DEMOLITION.
2. REMOVE ALL SITE COMPONENTS AND RECYCLE COMPONENTS AS REQUIRED IN THE SPECIFICATIONS.
3. ALL TRADE LICENSES AND PERMITS NECESSARY FOR THE PROCUREMENT AND COMPLETION OF THE WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING DEMOLITION.
4. THE CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL EXISTING RIGHT-OF-WAY SURVEY MONUMENTATION DURING DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REPLACEMENT BY A LICENSED SURVEYOR OF ANY DAMAGED OR REMOVED MONUMENTS.
5. PROTECT ALL ITEMS ON ADJACENT PROPERTIES AND IN THE RIGHT OF WAY INCLUDING BUT NOT LIMITED TO SIGNAL EQUIPMENT, PARKING METERS, SIDEWALKS, STREET TREES, STREET LIGHTS, CURBS, PAVEMENT AND SIGNS. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ANY DAMAGED ITEMS TO ORIGINAL CONDITION.
6. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, AND OTHER FACILITIES IMMEDIATELY ADJACENT TO EXCAVATIONS FROM DAMAGES CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS.
7. SAWCUT STRAIGHT LINES IN SIDEWALK, AS NECESSARY.
8. CONTRACTOR IS RESPONSIBLE TO CONTROL DUST AND MUD DURING THE DEMOLITION PERIOD, AND DURING TRANSPORTATION OF DEMOLITION DEBRIS. ALL STREET SURFACES OUTSIDE THE CONSTRUCTION ZONE MUST BE KEPT CLEAN.
9. PROTECT ALL EXISTING UTILITY STRUCTURES AND UNDERGROUND MAINS TO REMAIN.
10. PROTECT ALL EXISTING VEGETATION TO REMAIN.

(X) DEMOLITION NOTES

- 1 REMOVE ASPHALT
- 2 REMOVE TREE
- 3 REMOVE WALL

(X) PROTECTION NOTES

- 1 PROTECT TREE
- 2 PROTECT DRIVEWAY



ISSUED DATE

AAI alpha associates inc
ENGINEERING
4375 SW 60th Drive | Suite 300 | Beaverton, OR | 97005
 503.620.2000 ext. 1700.620.2038 fax | www.aaieng.com
 Project No. A18037-10

CIDA
 ARCHITECTURE
 ENGINEERING
 PLANNING
 INTERIORS

15505 SW 72ND AVE SUITE 200
 PORTLAND, OREGON 97224
 TEL: 503.226.1285
 FAX: 503.226.1670
 WWW.CIDAINC.COM

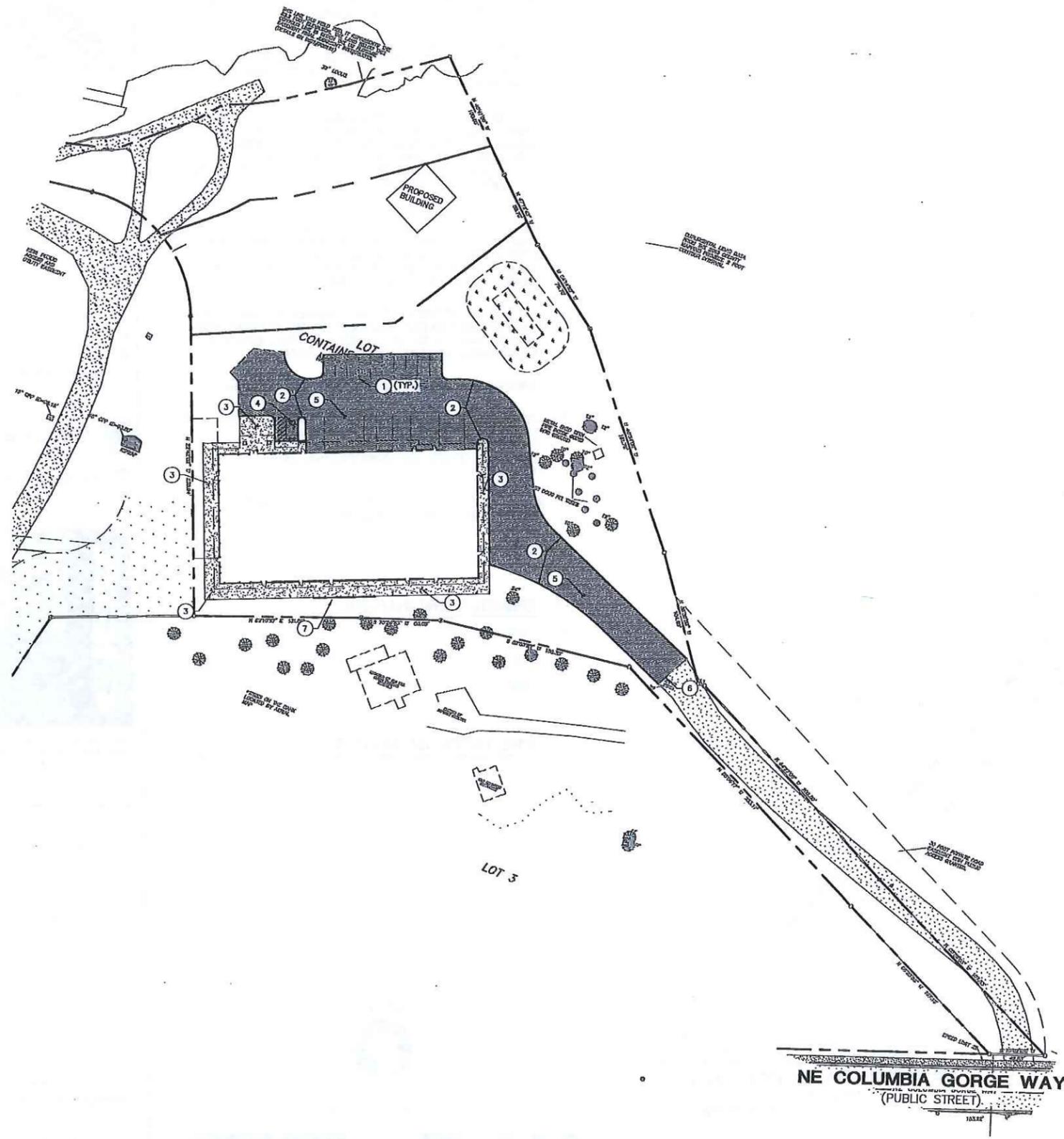
(NEW CONSTRUCTION) FOR
 HEUKER BROTHERS
 LOT 4
 CASCADE LOCKS,
 OREGON

DEMOLITION PLAN

C0.2

JOB NO. 170218.01

© 2017 CIDA, P.C./CDA ALL RIGHTS RESERVED



SHEET NOTES

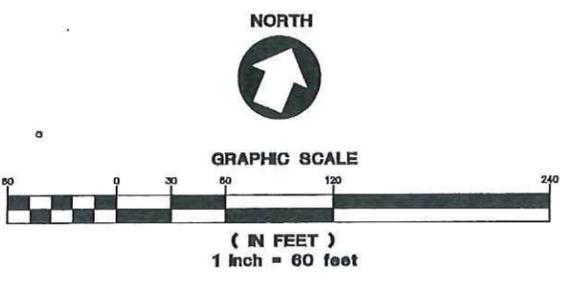
1. SEE ARCHITECTURAL PLANS FOR ADDITIONAL SITE INFORMATION.
2. THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS INCLUDING ADDENDA ON THE PROJECT SITE AT ALL TIMES.
3. THE CONTRACTOR SHALL KEEP THE ENGINEER AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 24-HOUR NOTICE IS REQUIRED.

LEGENDS

PROPERTY LINE	
PROPOSED CONCRETE SIDEWALK SURFACING	
PROPOSED ASPHALT SURFACING	

(X) CONSTRUCTION NOTES

- 1 INSTALL STRIPING
- 2 INSTALL PRIVATE CURB
- 3 INSTALL PRIVATE SIDEWALK
- 4 INSTALL ADA PARKING
- 5 INSTALL ASPHALT
- 6 MATCH EXISTING ASPHALT
- 7 RETAINING WALL, DESIGN BUILD BY OTHERS.



AAI alpha associates, inc.
ENGINEERING
4575 SW Goddard Drive | Suite 200 | Beaverton, OR 97005
503.620.3000 tel. | 503.620.5539 fax | www.aainc.com
Project No. A18037.10

CIDA
ARCHITECTURE
ENGINEERING
PLANNING
INTERIORS

16695 SW 72ND AVE SUITE 200
PORTLAND, OREGON 97224
TEL: 503.226.1285
FAX: 503.226.1070
WWW.CIDAINC.COM

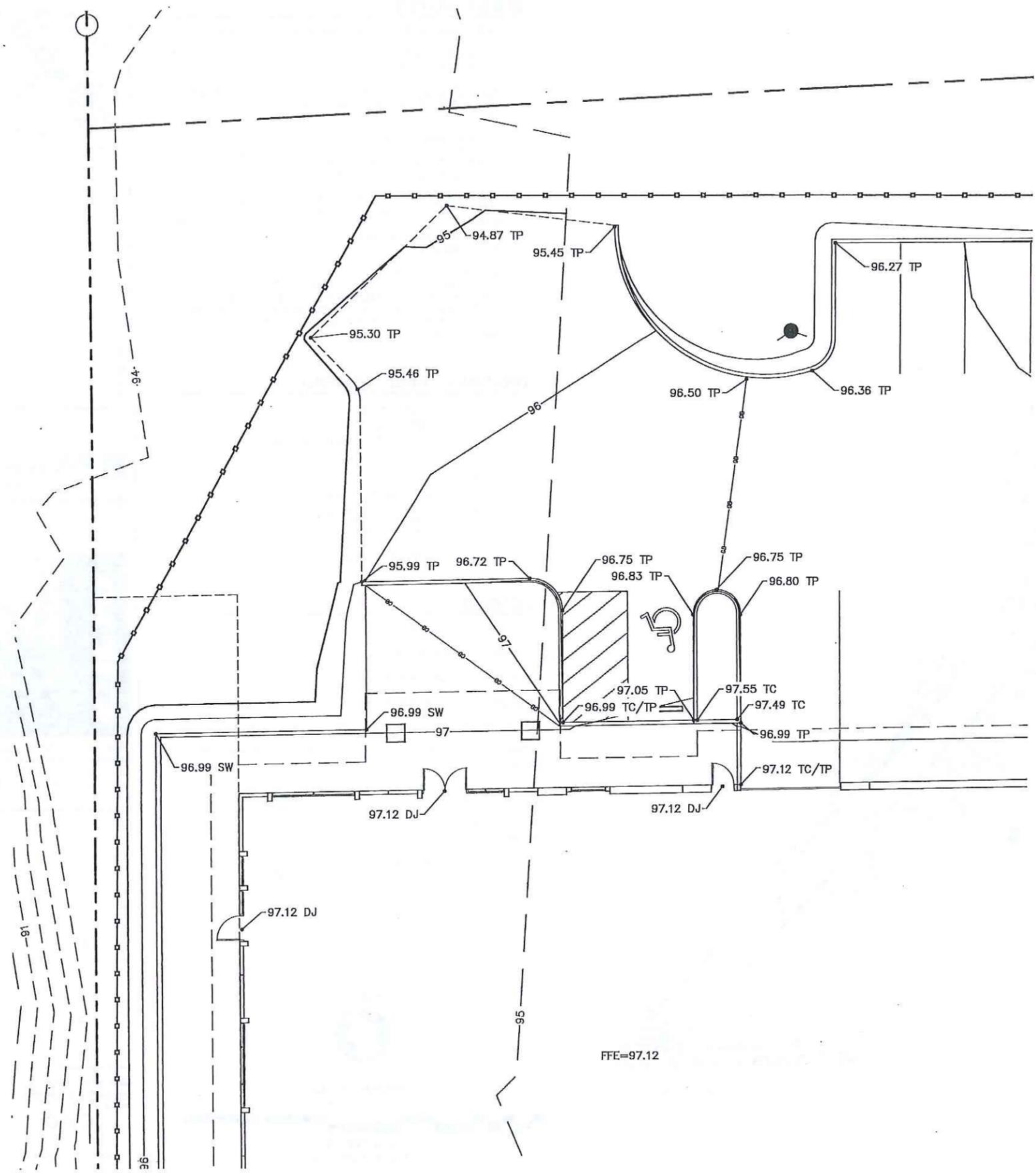
(NEW CONSTRUCTION) FOR
HEUKER BROTHERS
LOT 4
CASCADE LOCKS,
OREGON

HARDSCAPE PLAN

C1.0

JOB NO. 170218.01

© 2017 CIDA, P.C./CIDA ALL RIGHTS RESERVED



SHEET NOTES

1. CURB HEIGHTS ARE 6" UNLESS NOTED OTHERWISE.
2. LANDINGS ON ACCESSIBLE ROUTES SHALL NOT EXCEED 2% IN ANY DIRECTION.
3. ALL ACCESSIBLE ROUTES SHALL COMPLY WITH CURRENT ADA ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES (ADAAAG).
4. ALL WALKWAYS FROM ACCESSIBLE UNITS ARE DESIGNED TO NOT REQUIRE HANDRAILS. THEREFORE, RAMP WITH SLOPES STEEPER THAN 5.0% AND LESS THAN 8.33% SHALL NOT EXCEED 0.5' RISE OR 6.0' LENGTH.
5. FINISH GRADES ARE TO BE BROUGHT TO WITHIN 0.08 FT IN 10 FT OF THE GRADES SHOWN AT SUBGRADE AND TO WITHIN 0.03 FT IN 10 FT AT FINISH GRADE. CONTRACTOR TO ALLOW FOR PLACEMENT OF REQUIRED TOPSOIL IN ROUGH GRADING.
6. GRADING ELEVATIONS AS SHOWN ON SITE AND LANDSCAPE PLANS ARE FINISHED GRADE WHICH INCLUDES SUBGRADE SOIL, TOPSOIL, SOIL AMENDMENTS, ROCKERY AND RUNOFF PROTECTION CONTRACTOR IS RESPONSIBLE TO COORDINATE GRADING WITH BOTH EXCAVATOR AND LANDSCAPE CONTRACTOR.

GRADING LABEL LEGEND

CALLOUT	DESCRIPTION
XX.XX	SPOT ELEVATION
XX	DESCRIPTION LISTED BELOW.
BS	BOTTOM OF STAIRS
EX	EXISTING GRADE
FF	FINISHED FLOOR ELEVATION
FG	FINISH GRADE
TC	TOP OF CURB
TP	TOP OF PAVEMENT
TS	TOP OF STAIRS

LEGEND

EXISTING CONTOUR MINOR	--- 102 ---
EXISTING CONTOUR MAJOR	--- 100 ---
PROPOSED CONTOUR MINOR	--- 102 ---
PROPOSED CONTOUR MAJOR	--- 100 ---
GRADE BREAK	--- 0 ---
SEDIMENT FENCE PER DETAIL 8/C4.1	--- 0 ---
CONSTRUCTION ENTRANCE PER DETAIL 6/C4.1	--- 0 ---
INLET PROTECTION PER DETAIL 7/C4.1	--- 0 ---
OUTFALL PROTECTION PER DETAIL 9/C4.1	--- 0 ---

NORTH



GRAPHIC SCALE



(IN FEET)
1 inch = 60 feet



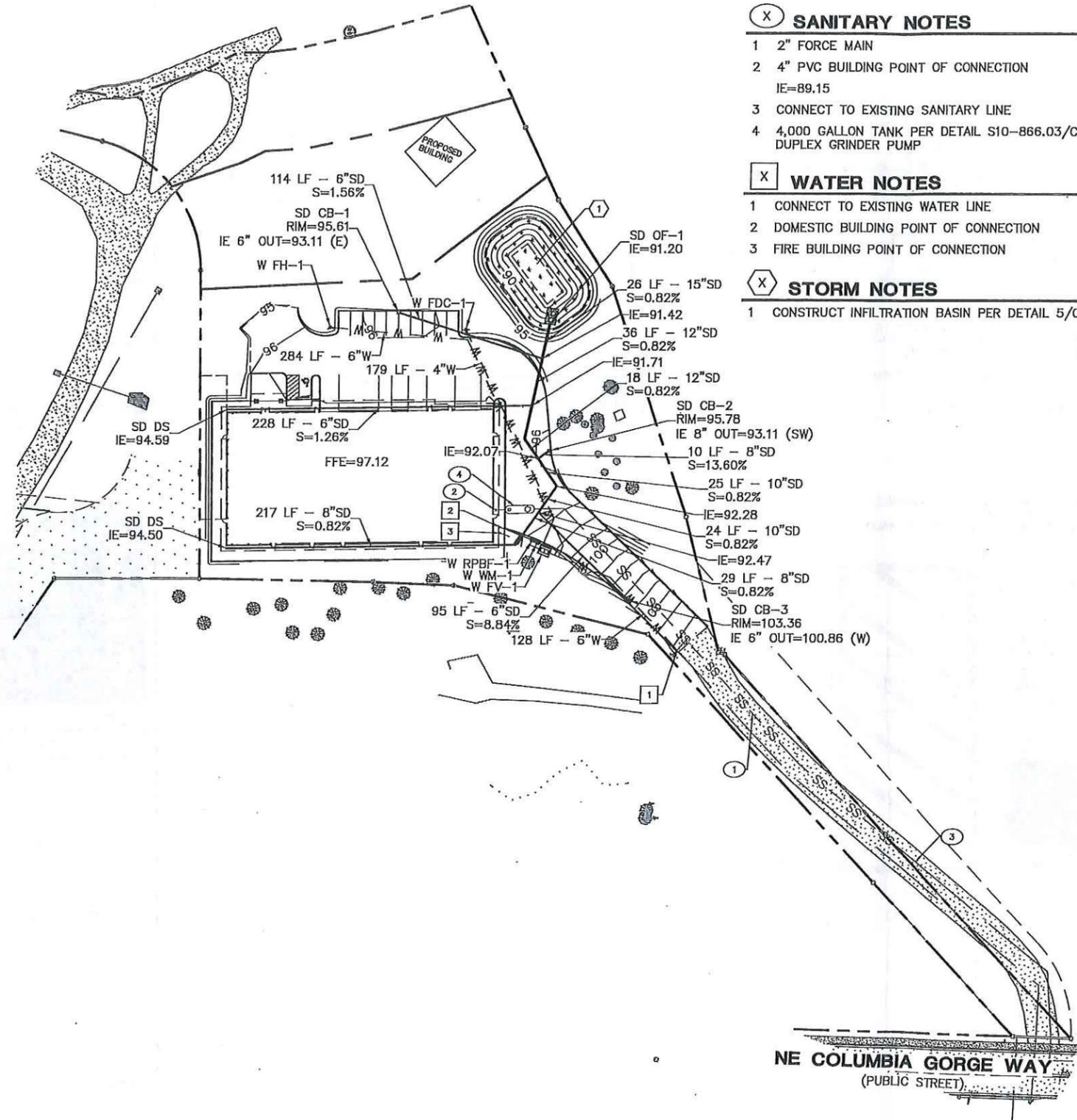
15595 SW 72ND AVE SUITE 200
PORTLAND, OREGON 97224
TEL: 503.226.1285
FAX: 503.226.1670
WWW.CIDAINC.COM

(NEW CONSTRUCTION) FOR
HEUKER BROTHERS
LOT 4
CASCADE LOCKS,
OREGON

GRADING
ENLARGEMENT
G2.1

JOB NO. 170218.01
© 2017 CIDA, P.C./DBA ALL RIGHTS RESERVED

FY2018\18037.10 - Heuker Brothers\Civil\CA\Sheets\Cascade\18037.10.C3.0.DWG Oct 16, 2018 - 14:30pm



LEGEND

SANITARY SEWER LINE	— SS — SS —
WATER LINE	— W — W — W —
STORM LINE	— — — — —

(X) SANITARY NOTES

- 1 2" FORCE MAIN
- 2 4" PVC BUILDING POINT OF CONNECTION
IE=89.15
- 3 CONNECT TO EXISTING SANITARY LINE
- 4 4,000 GALLON TANK PER DETAIL S10-866.03/C4.2 WITH
DUPLIX GRINDER PUMP

(X) WATER NOTES

- 1 CONNECT TO EXISTING WATER LINE
- 2 DOMESTIC BUILDING POINT OF CONNECTION
- 3 FIRE BUILDING POINT OF CONNECTION

(X) STORM NOTES

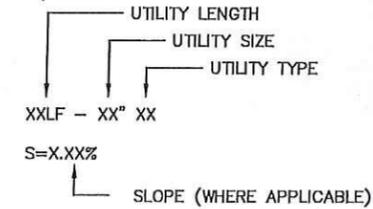
- 1 CONSTRUCT INFILTRATION BASIN PER DETAIL 5/C4.1

SHEET NOTES

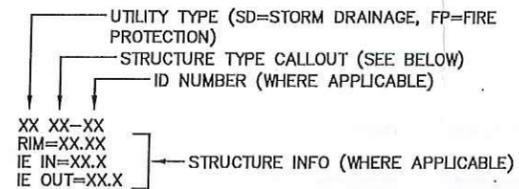
1. PIPE BEDDING AND BACKFILL UTILITIES SHALL BE DONE PER DETAIL 3/C4.1.
2. INSTALL THRUST BLOCKS ON FIRE AND WATER LINES PER DETAIL 4/C4.1.
3. THIS PLAN IS GENERALLY DIAGRAMMATIC. IT DOES NOT SHOW EVERY JOINT, BEND, FITTING, OR ACCESSORY REQUIRED FOR CONSTRUCTION.
4. CLEAN OUTS SHALL BE INSTALLED IN CONFORMANCE WITH UPC CHAPTER SEVEN, SECTION 707 AND SECTION 719. NOT ALL REQUIRED CLEAN OUTS ARE SHOWN.
5. DOMESTIC WATER AND FIRE LINES AND ACCESSORIES BETWEEN THE WATER METER AND THE BUILDING SHALL BE INSTALLED BY A LICENSED PLUMBER EMPLOYED BY A LICENSED PLUMBING CONTRACTOR.
6. UTILITIES WITHIN FIVE FEET OF A BUILDING SHALL BE CONSTRUCTED OF MATERIALS APPROVED FOR INTERIOR USE AS DESCRIBED IN THE CURRENT EDITION OF THE UPC.
7. INLETS AND OUTLETS TO ON-SITE MANHOLES SHALL HAVE FLEXIBLE CONNECTION NO CLOSER THAN 12" AND NO FARTHER THAN 36" FROM THE MANHOLE.

LABEL LEGEND

PIPE LABELS



STRUCTURE LABELS



STRUCTURE TYPES

CALLOUT	DESCRIPTION
CB	CATCH BASIN PER DETAIL 2/C4.1
FDC	4" FIRE DEPARTMENT CONNECTION PER DETAIL 2/C4.3
FH	6" FIRE HYDRANT PER DETAIL 3/C4.3
FV	6" DOUBLE CHECK DETECTOR ASSEMBLY (FIRE VAULT) PER DETAIL 1/C4.3
OF	OUTFALL PER DETAIL 1/C4.1
RPBF	2" DOMESTIC REDUCED PRESSURE BACKFLOW ASSEMBLY
WM	2" WATER METER

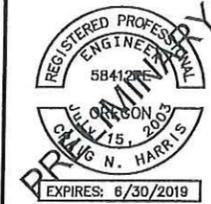
NORTH



GRAPHIC SCALE



(IN FEET)
1 Inch = 60 feet



ISSUED DATE



15595 SW 72ND AVE SUITE 200
PORTLAND, OREGON 97224
TEL: 503.226.1285
FAX: 503.226.1870
WWW.CIDAING.COM

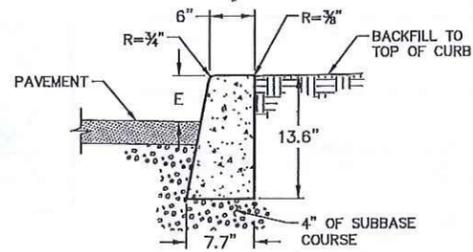
(NEW CONSTRUCTION) FOR
HEUKER BROTHERS
LOT 4
CASCADE LOCKS,
OREGON

UTILITY PLAN

C3.0

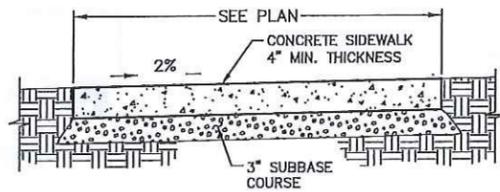
JOB NO. 170218.01

© 2017 CIDA, P.C./CDA ALL RIGHTS RESERVED



- NOTES:**
1. CURB EXPOSURE 'E' = 6", TYP. VARY AS SHOWN ON PLANS OR AS DIRECTED.
 2. CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS. CONSTRUCT EXPANSION JOINTS AT 200' MAX SPACING AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY.
 3. TOPS OF ALL CURBS SHALL SLOPE TOWARD THE ROADWAY AT 2% UNLESS OTHERWISE SHOWN OR AS DIRECTED.
 4. DIMENSIONS ARE NOMINAL AND MAY VARY TO CONFORM WITH CURB MACHINE AS APPROVED BY THE ENGINEER.

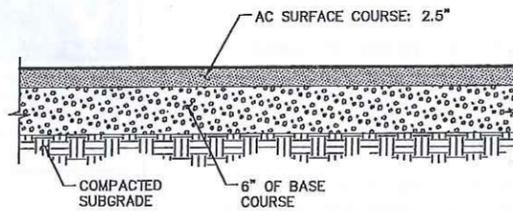
1 CONCRETE CURB - STANDARD
SCALE: NTS



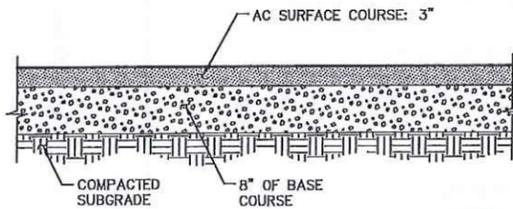
- NOTES:**
1. CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS. CONSTRUCT EXPANSION JOINTS AT 200' MAX SPACING, AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY, UNLESS NOTED OTHERWISE.

2 CONCRETE SIDEWALK
SCALE: NTS

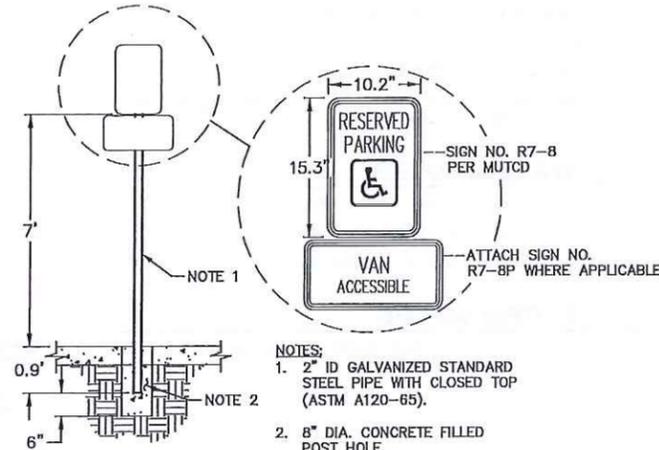
PASSENGER VEHICLE ONLY:



UP TO 5 TRUCKS PER DAY:

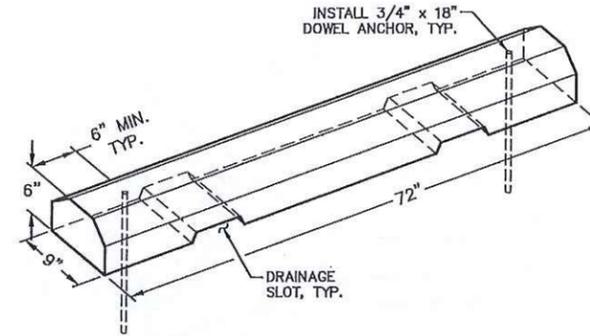


3 ASPHALT PAVEMENT SECTION
SCALE: NTS



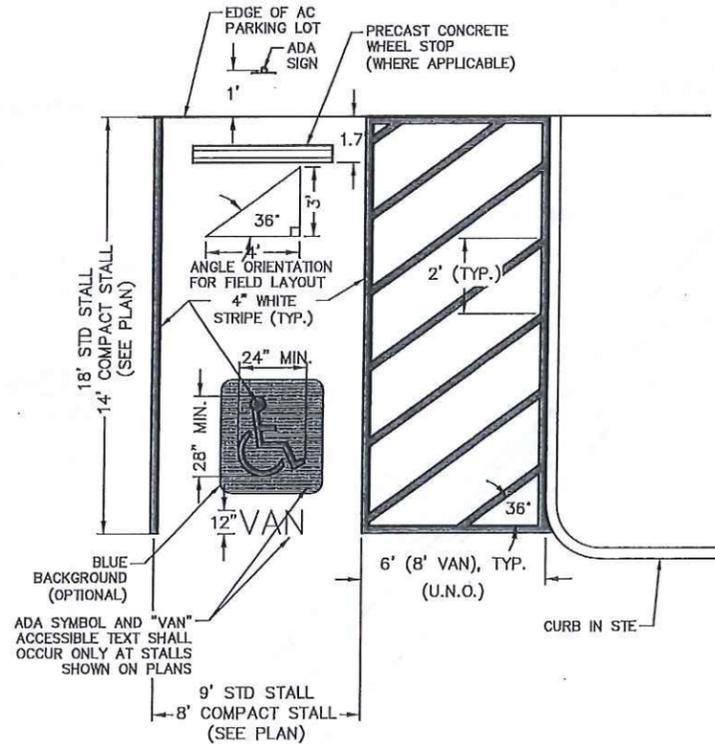
- NOTES:**
1. 2" ID GALVANIZED STANDARD STEEL PIPE WITH CLOSED TOP (ASTM A120-85).
 2. 8" DIA. CONCRETE FILLED POST HOLE.

4 ADA PARKING SIGN - TYPE 1
SCALE: NTS



- NOTES:**
1. DIMENSIONS ARE NOMINAL AND MAY VARY TO CONFORM TO MANUFACTURER'S PRODUCTS APPROVED BY ENGINEER.

6 PRECAST CONCRETE WHEEL STOP
SCALE: NTS



5 TYPICAL PARKING LAYOUT
SCALE: NTS



ISSUED DATE

AAI alpha associates inc
ENGINEERING
4875 SW Glenth Drive | Suite 200 | Beaverton, OR | 97005
503.620.3000 tel | 503.620.5539 fax | www.aaing.com
Project No. A16037.00

CIDA
ARCHITECTURE
ENGINEERING
PLANNING
INTERIORS

18895 SW 72ND AVE SUITE 200
PORTLAND, OREGON 97224
TEL: 503.226.1285
FAX: 503.226.1670
WWW.CIDAING.COM

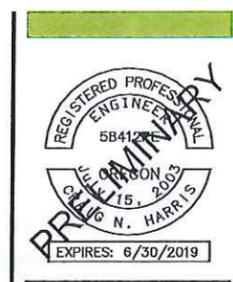
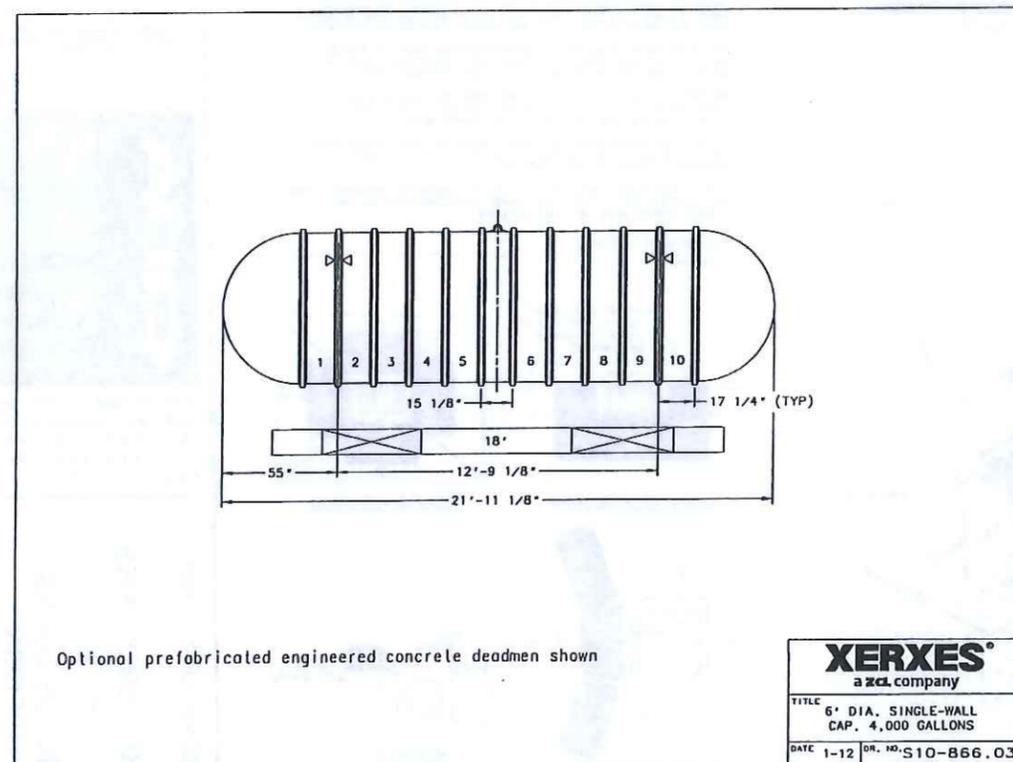
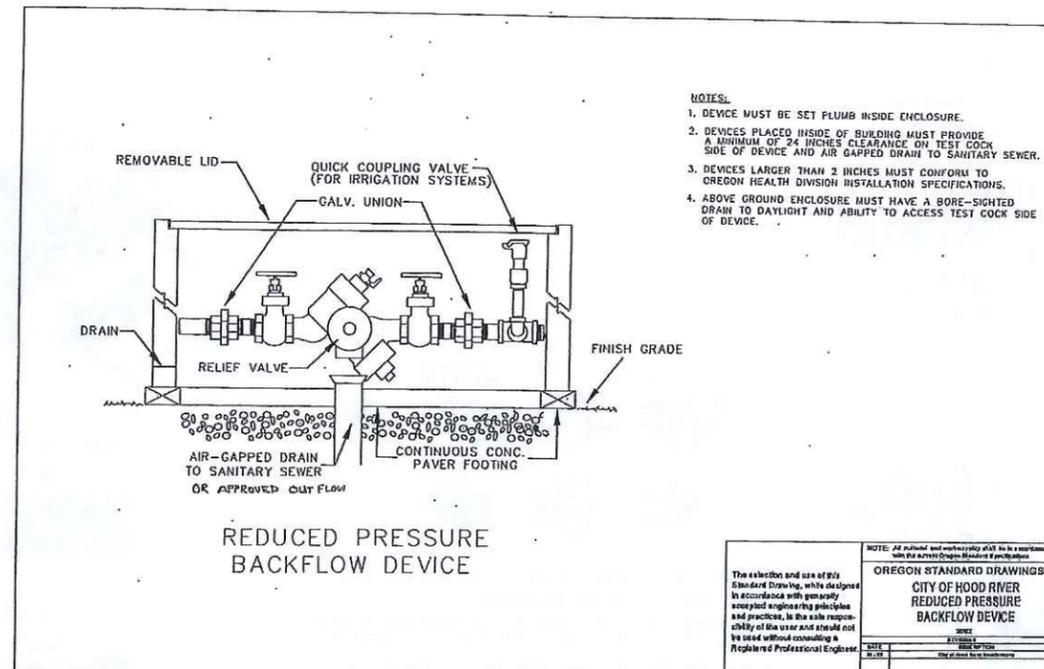
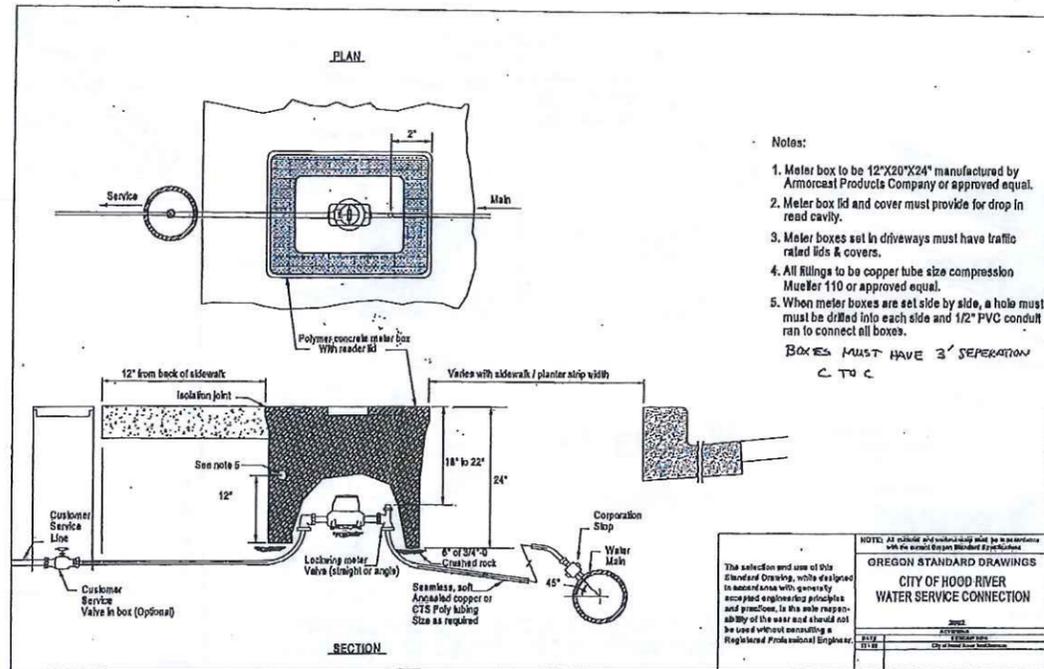
(NEW CONSTRUCTION) FOR
HEUKER BROTHERS
LOT 4
CASCADE LOCKS,
OREGON

DETAILS

C4.0

JOB NO. 170218.01

© 2017 CIDA, P.C./CIDA ALL RIGHTS RESERVED



ISSUED DATE



CIDA

ARCHITECTURE
ENGINEERING
PLANNING
INTERIORS

15595 SW 72ND AVE SUITE 200
PORTLAND, OREGON 97224
TEL: 503.226.1286
FAX: 503.226.1870
WWW.CIDAINC.COM

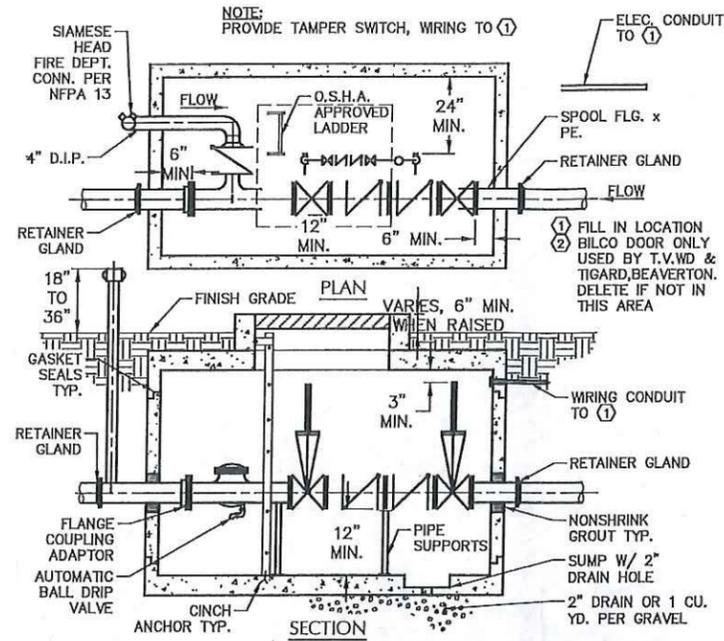
(NEW CONSTRUCTION) FOR
HEUKER BROTHERS
LOT 4
CASCADE LOCKS,
OREGON

DETAILS

C4.2

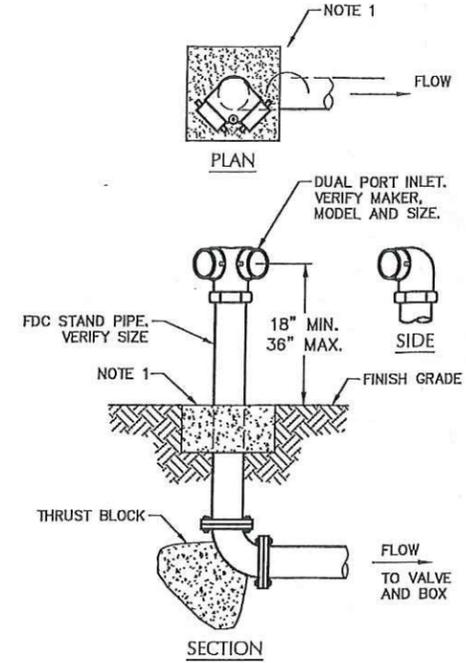
JOB NO. 170218.01

© 2017 CIDA, P.C./CIDA ALL RIGHTS RESERVED



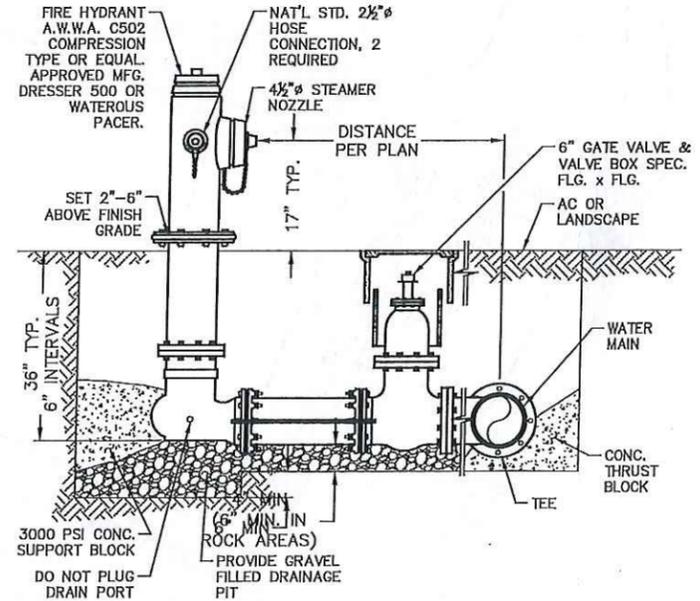
D.D.C. SIZE	UTILITY VAULT OR EQUAL		BILCO DOOR OR EQUAL
	WITH F.D.C.	WITHOUT F.D.C.	
4"	676 - WA	577 - WA	J - 5AL
6"	687 - WA	676 - WA	J - 5AL
8"	5106 - LA	687 - WA	JD - 3AL
10"	5106 - LA	5106 - LA	JD - 3AL

1 DOUBLE DETECTOR CHECK
FIRE SERVICE VAULT W/ DRAIN TO GROUND
SCALE: NTS



- NOTES:
1. CONCRETE ANCHOR PAD TO BE 12"x12"x6" THICK, UNLESS NOTED OTHERWISE. ELIMINATE IF INSTALLED IN CONCRETE PAVED AREA.
 2. USE FLANGE OR THREADED FITTINGS.
 3. CONTRACTOR SHALL PROVIDE SINGLE CHECK VALVE AND BALL DRIP VALVE IN ACCESSIBLE LOCATION INSIDE DDCV VAULT. COORDINATE WITH PLUMBING.

2 FIRE DEPARTMENT CONNECTION (FDC)
DUAL PORT
SCALE: NTS



- NOTE:
ALL FIRE HYDRANT ASSEMBLIES INCLUDE A TEE VALVE & BOX GATE VALVE AS SHOWN

3 FIRE HYDRANT ASSEMBLY - M.J.
SCALE: NTS



ISSUED DATE



18895 SW 72ND AVE SUITE 200
PORTLAND, OREGON 97224
TEL: 503.228.1285
FAX: 503.228.1670
WWW.CIDAING.COM

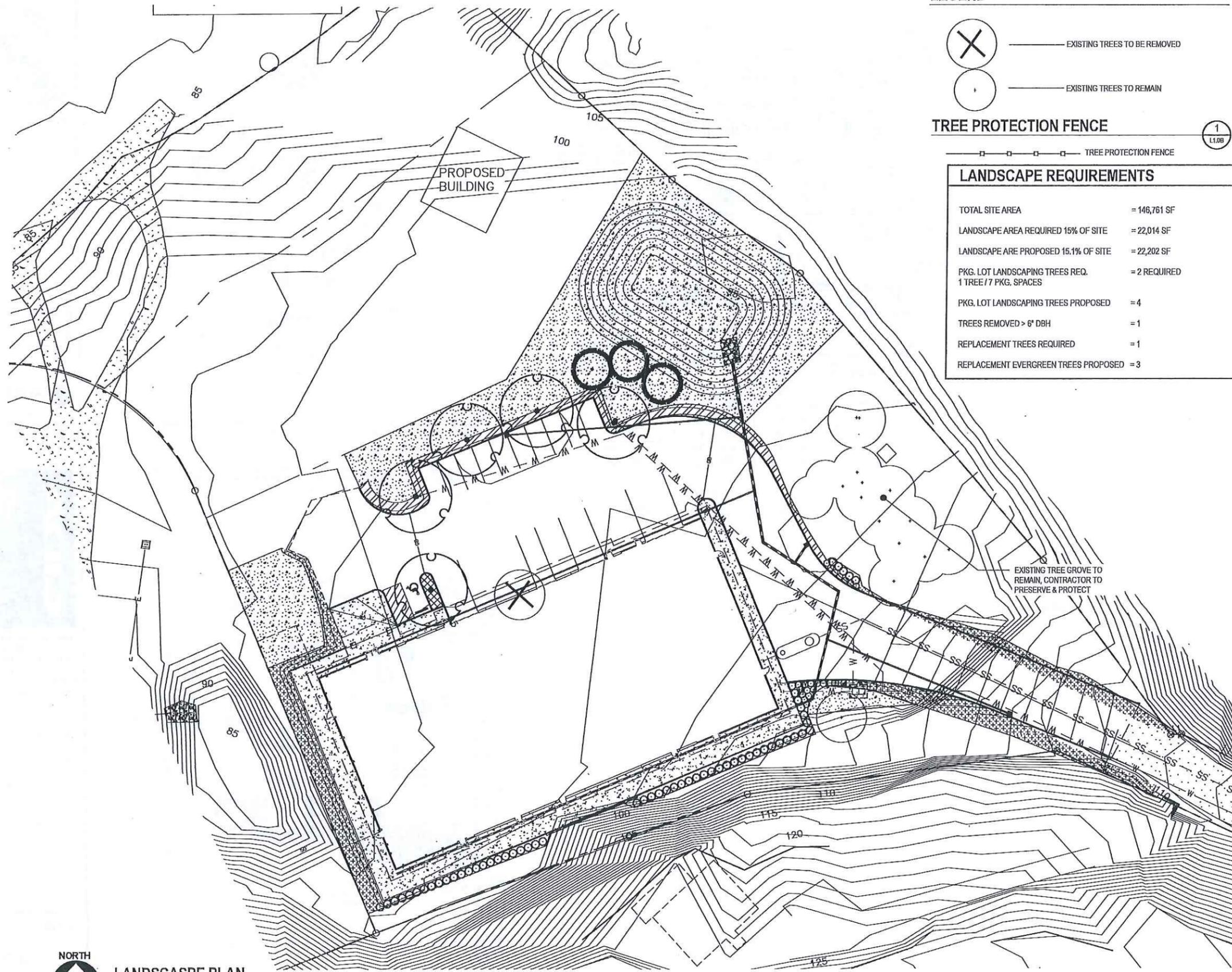
(NEW CONSTRUCTION) FOR
HEUKER BROTHERS
LOT 4
CASCADE LOCKS,
OREGON

DETAILS

C4.3

JOB NO. 170218.01

© 2017 CIDA, P.C./CIDA ALL RIGHTS RESERVED



LEGEND

-  EXISTING TREES TO BE REMOVED
-  EXISTING TREES TO REMAIN

TREE PROTECTION FENCE

-  TREE PROTECTION FENCE

LANDSCAPE REQUIREMENTS	
TOTAL SITE AREA	= 146,761 SF
LANDSCAPE AREA REQUIRED 15% OF SITE	= 22,014 SF
LANDSCAPE ARE PROPOSED 15.1% OF SITE	= 22,202 SF
PKG. LOT LANDSCAPING TREES REQ. 1 TREE / 7 PKG. SPACES	= 2 REQUIRED
PKG. LOT LANDSCAPING TREES PROPOSED	= 4
TREES REMOVED > 6" DBH	= 1
REPLACEMENT TREES REQUIRED	= 1
REPLACEMENT EVERGREEN TREES PROPOSED	= 3

NORTH

LANDSCAPE PLAN
 SCALE 1" = 30'



P:\2018\18037.20 - Heuker Brothers - JAC\CD\Sheets\18037.LDW Oct 15, 2018 - 2:24pm

REGISTERED
 PRELIMINARY
 PLAN
 ONLY - NOT
 FOR
 CONSTRUCTION
 Tereza Katherine Long
 LANDSCAPE ARCHITECT

ISSUED DATE

AAI *align associates inc*
ENGINEERING
 4575 SW Coos Bay Blvd, Suite 300 | Beaverton, OR 97005
 503.638.7000 | 503.638.5039 | Fax | www.aainc.com
 Project No. A18037.10

CIDA
 ARCHITECTURE
 ENGINEERING
 PLANNING
 INTERIORS
 15885 SW 72ND AVE SUITE 200
 PORTLAND, OREGON 97224
 TEL: 503.226.1285
 FAX: 503.226.1670
 WWW.CIDAINC.COM

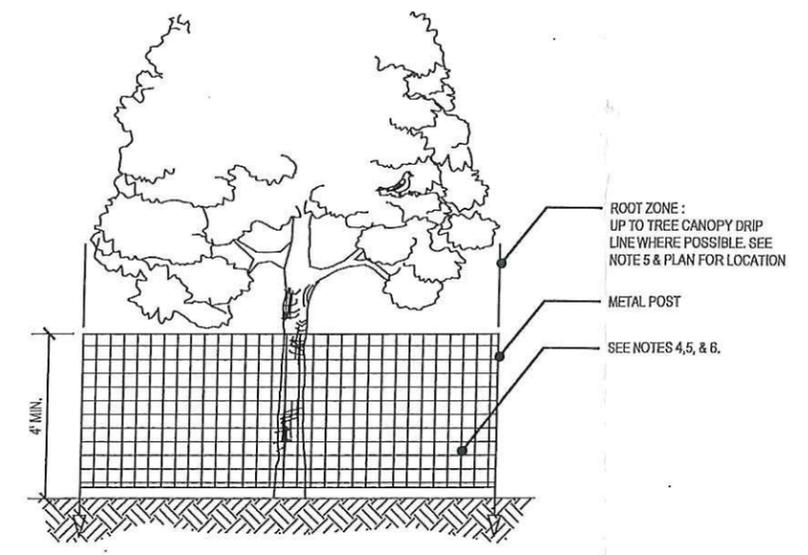
(NEW CONSTRUCTION) FOR
HEUKER BROTHERS
 LOT 4
 CASCADE LOCKS,
 OREGON

LANDSCAPE PLAN
L1.0A
 JOB NO. 18037.10
 © 2017 CIDA, P.E./CIDA ALL RIGHTS RESERVED

P:\2018\18037.20 - Heuker Brothers - LANDSCAPE ARCHITECTURE\18037.20.dwg Oct 16, 2018 - 2:25pm

TREE PROTECTION NOTES:

1. BEFORE WORK IS STARTED, INSTALL TREE PROTECTION FENCING. CONTACT THE PROJECT LANDSCAPE ARCHITECT FOR ASSISTANCE.
2. NO ENCROACHMENT OF ANY KIND IS ALLOWED WITHIN THE TREE PROTECTION FENCE ZONE DURING CONSTRUCTION.
3. ROOT PROTECTION ZONE IS AN AREA AROUND A TREE THAT IS BASED ON THE DIAMETER OF THE TREE CANOPY AND BETWEEN EXISTING CURB AND PROPOSED SIDEWALK.
4. FENCING SHALL BE 4-FOOT HIGH ORANGE CONSTRUCTION FENCE WITH METAL POSTS AND BE SECURED TO THE GROUND WITH 6-FOOT METAL POSTS 8' O.C. MAX. SPACING. AVOID DRIVING POSTS OR STAKES INTO MAJOR ROOTS.
5. FENCE SHALL BE INSTALLED PRIOR TO LAND CLEARING, FILLING OR ANY LAND ALTERATION AND SHALL REMAIN IN PLACE UNTIL AFTER CONSTRUCTION IS COMPLETE.
6. NO EXCAVATION OR COMPACTION OF EARTH OR OTHER POTENTIALLY DAMAGING ACTIVITIES ALLOWED WITHIN THE PROTECTION FENCING.
7. WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY. NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMITS OF THE FENCING.
8. WITHIN CLEARING/GRADING LIMITS OR AT THE EDGE OF THE CLEARING/GRADING LIMITS, TREE PROTECTION MAY BE INSTALLED AROUND GROUPS OF TREES.
9. DURING WORK, ANY ROOTS GREATER THAN TWO INCHES FOUND DURING EXCAVATION SHALL BE CLEANLY CUT. MULTIPLE ROOT PRUNING EVENTS FOR SINGLE TREES SHALL BE MANAGED & MONITORED BY AN ARBORIST.
10. AFTER CONSTRUCTION IS COMPLETE, PROJECT LANDSCAPE ARCHITECT SHALL VERIFY TREE PROTECTION FENCING CAN BE REMOVED.



1 TREE PROTECTION FENCING DETAIL
N.T.S.

REGISTERED
PRELIMINARY
PLAN
ONLY - NOT
FOR
CONSTRUCTION
Teresa Katherine Long
LANDSCAPE ARCHITECT

ISSUED DATE

AAI alpha associates inc
ENGINEERING
4375 SW GUSTAF Drive | Suite 200 | Beaverton, OR | 97005
503.620.3000 tel | 503.620.5500 fax | aai@aaiblog.com
Project No. A18037.10

CIDA
ARCHITECTURE
ENGINEERING
PLANNING
INTERIORS

15895 SW 72ND AVE SUITE 200
PORTLAND, OREGON 97224
TEL: 503.226.1285
FAX: 503.226.1870
WWW.CIDAINC.COM

(NEW CONSTRUCTION) FOR
HEUKER BROTHERS
LOT 4
CASCADE LOCKS,
OREGON

LANDSCAPE PLAN
L1.0B

JOB NO. 18037.10
© 2017 CIDA, P.L.L.C./AAI ALL RIGHTS RESERVED

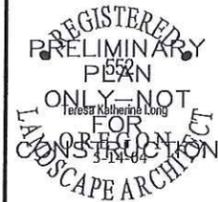
GENERAL NOTES

1. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT A MINIMUM OF TWO WEEKS PRIOR TO START OF LANDSCAPE WORK TO REVIEW PLANT SUBSTITUTIONS & JURISDICTIONAL REQUIREMENTS.

PLANTING NOTES

1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF CASCADE LOCKS AND THE PORT OF CASCADE LOCKS STANDARDS AND THE OREGON STRUCTURAL SPECIALTY CODE.
2. VERIFY ALL EXISTING CONDITIONS, INCLUDING LOCATION OF PROPERTY LINES, PRIOR TO BEGINNING ANY WORK. REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
3. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE OF UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES. PRIOR TO REMOVING ANY EXISTING FEATURES, REVIEW AND CONFIRM EXTENT OF DEMOLITION WITH OWNER'S REPRESENTATIVE.
4. PROTECT EXISTING ITEMS TO REMAIN DURING CONSTRUCTION. ANY DAMAGE TO EXISTING ITEMS DESIGNATED TO REMAIN I.E. CURBS, WALKS, PLANT MATERIAL, LAWN OR FENCES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
5. VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES, LINES, PIPES, VAULTS, OR BOXES PRIOR TO EXCAVATION. 2. MARK AND PROTECT ALL UTILITIES, SITE FEATURES AND VEGETATION TO REMAIN IN PLACE. ANY DAMAGE TO ANY KNOWN EXISTING UTILITY ELEMENTS SHALL BE REPAIRED PROPERLY AND IMMEDIATELY.
6. REMOVE FROM THE SITE AND LEGALLY DISPOSE OF ALL DEBRIS AND EXCAVATED MATERIAL NOT REQUIRED FOR FILL. NO RUBBISH OR DEBRIS SHALL BE BURIED ON THE SITE.
7. MAINTAIN ALL ROADWAYS AND PAVED PATHWAYS CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS, PROVIDING NECESSARY DUST CONTROL WHERE REQUIRED.
8. COORDINATE AND SCHEDULE ALL WORK WITH THE OWNER'S REPRESENTATIVE.
9. INSTALL EROSION CONTROL SYSTEMS IN ACCORDANCE WITH CITY OF CASCADE LOCKS STANDARDS PRIOR TO SITE WORK AND LANDSCAPE INSTALLATION.
10. CONTRACTOR SHALL PROVIDE TOPSOIL, SOIL AMENDMENTS, AND EROSION CONTROL.
11. CONTRACTOR SHALL SUBMIT CERTIFIED TOPSOIL ANALYSIS REPORT FOR OWNER'S APPROVAL PRIOR TO PLANT INSTALLATION.
12. CONTRACTOR IS RESPONSIBLE FOR ANY AMENDMENTS TO SOIL PH FERTILITY AND/OR DRAINAGE CONDITIONS NECESSARY TO ENSURE PROPER GROWING CONDITIONS FOR PROPOSED PLANTINGS.
13. CONTRACTOR SHALL FOLLOW PROVIDER'S INSTRUCTIONS AND RECOMMENDATIONS FOR SEEDING.
14. ALL PLANTS SHALL BE INSTALLED ACCORDING TO AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) AS WELL AS DETAIL DRAWINGS AND SPECIFICATIONS.
15. ALL PLANTS SHALL BE IRRIGATED BY A FULLY AUTOMATED, PERMANENT IRRIGATION SYSTEM OR A READILY AVAILABLE WATER SUPPLY WITH AT LEAST ONE OUTLET LOCATED WITHIN 150 FEET OF ALL PLANT MATERIALS TO BE MAINTAINED.
16. IF AN AUTOMATIC IRRIGATION SYSTEM IS INSTALLED THE CONTRACTOR SHALL INSTALL RAIN SENSORS AS PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. VERIFY THE LOCATION WITH THE OWNER PRIOR TO INSTALLATION.
- 16.1. CONTRACTOR SHALL DESIGN THE IRRIGATION SYSTEM AND PROVIDE OWNER WITH SHOP DRAWINGS FOR APPROVAL. SEE SPECS.
- 16.2. PRIOR TO FINAL ACCEPTANCE, CONTRACTOR SHALL PROVIDE OWNER WITH AS-BUILT PLANS OF THE INSTALLATION, COPIES OF ALL OPERATION MANUALS AND WARRANTY DOCUMENTS.
17. ALL NEW PLANTS IN LANDSCAPE AREAS SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.

PLANT SCHEDULE						
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	GD	5	GYMNOCLADUS DIOICA 'ESPRESSO'	KENTUCKY COFFEETREE	1.5" CAL.	
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	PD	3	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	1.5" CAL.	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	CK	19	CORNUS SERICEA 'KELSEYI'	KELSEYI DOGWOOD	1 GAL.	
	MC	58	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	1 GAL.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	FL	44	FRAGARIA CHILOENSIS 'LIPSTICK'	BEACH STRAWBERRY	4" POT	18" o.c.
	MR	1,579	MAHONIA REPENS	CREEPING MAHONIA	4" POT	18" o.c.
	RE	599	RUBUS CALYCINOIDES 'EMERALD CARPET'	EMERALD CARPET CREEPING RASPBERRY	4" POT	18" o.c.



ISSUED DATE



15895 SW 72ND AVE SUITE 200
 PORTLAND, OREGON 97224
 TEL: 503.226.1285
 FAX: 503.226.1870
 WWW.CIDAINC.COM

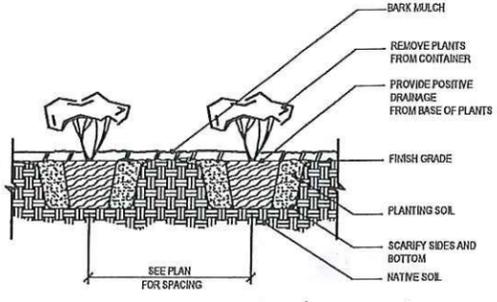
(NEW CONSTRUCTION) FOR
 HEUKER BROTHERS
 LOT 4
 CASCADE LOCKS,
 OREGON

PLANTING LEGEND

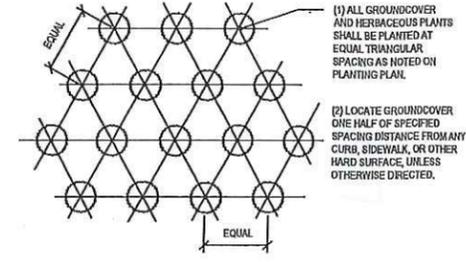
L2.0A

JOB NO. 18037.10

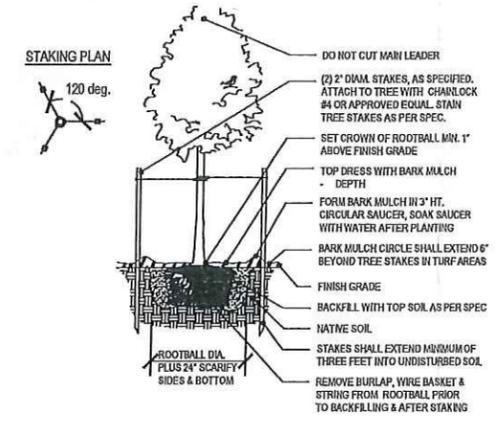
© 2017 CIDA, P.A./CDA. ALL RIGHTS RESERVED



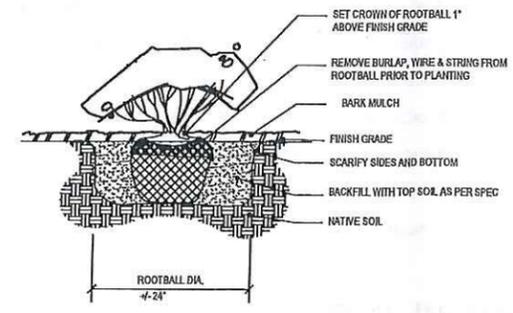
1 GROUNDCOVER & HERBACEOUS PLANT PLANTING DETAIL
L2.0 SCALE: NTS



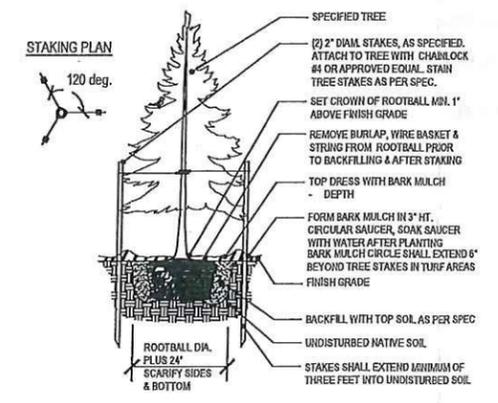
2 GROUNDCOVER & HERBACEOUS PLANT PLANTING PLAN
L2.0 SCALE: NTS



3 DECIDUOUS TREE PLANTING DETAIL
L2.0 SCALE: NTS



4 SHRUB PLANTING
L2.0 SCALE: NTS



5 CONIFER TREE PLANTING DETAIL
L2.0 SCALE: NTS

REGISTERED
PRELIMINARY
PLAN
ONLY - NOT
FOR
CONSTRUCTION
Landscape Architect

ISSUED DATE

AAI
ENGINEERING
4875 SW Oregon Drive | Suite 200 | Beaverton, OR | 97005
503.620.3000 TEL | 503.620.5500 FAX | aaiengineering.com
Project No. A18037.10

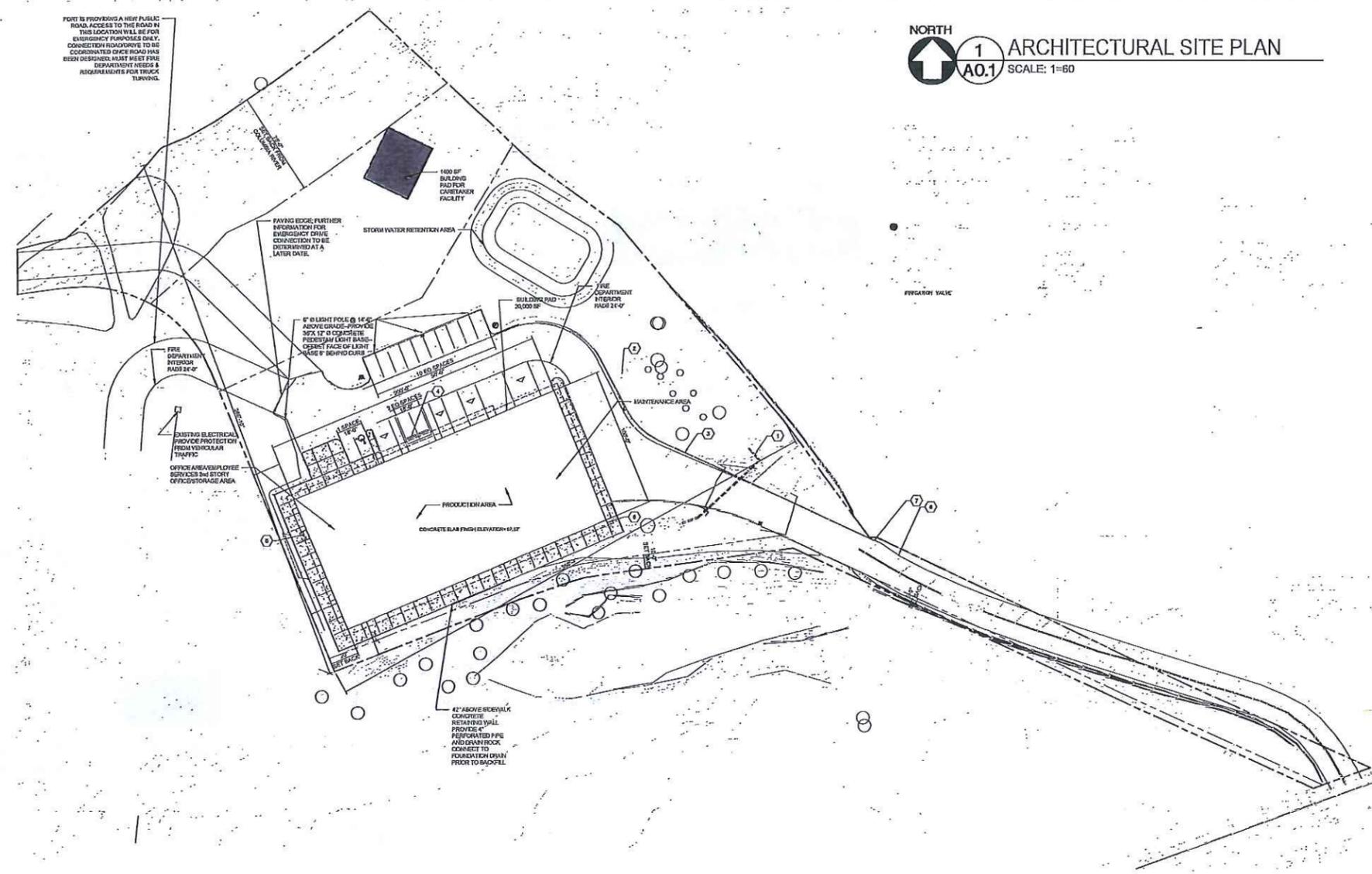
CIDA
ARCHITECTURE
ENGINEERING
PLANNING
INTERIORS

15895 SW 72ND AVE SUITE 200
PORTLAND, OREGON 97224
TEL: 503.226.1285
FAX: 503.226.1870
WWW.CIDAINC.COM

(NEW CONSTRUCTION) FOR
HEUKER BROTHERS
LOT 4
CASCADE LOCKS,
OREGON

PLANTING DETAILS
L2.0B
JOB NO. 18037.10

© 2017 CIDA, P.C./CIDA ALL RIGHTS RESERVED



NORTH
 1 ARCHITECTURAL SITE PLAN
 A0.1 SCALE: 1=60

PRELIMINARY
 PLAN
 ONLY-NOT
 FOR
 CONSTRUCTION

ISSUED DATE 10.22.2018
 1 SITE PLAN REVIEW

CIDA
 ARCHITECTURE
 ENGINEERING
 PLANNING
 INTERIORS

15895 SW 72ND AVE SUITE 200
 PORTLAND, OREGON 97224
 TEL: 503.226.1285
 FAX: 503.226.1670
 WWW.CIDAINC.COM

(NEW CONSTRUCTION) FOR
 HEUKER BROTHERS
 LOT 4
 CASCADE LOCKS,
 OREGON

SITE PLAN
A0.1
 JOB NO. 170218.01
 © 2017 CIDA, P.C./CIDA ALL RIGHTS RESERVED

LEGEND

- △ DRIVE-IN OVERHEAD DOOR
- EDGE OF ASPHALT PAVING & INTEGRAL CONCRETE CURB
- /// ASPHALT PAVING; SEE GEOTECHNICAL ENGINEERS REPORT FOR MINIMUMS
- 4" CONCRETE SIDEWALK & INTEGRAL CURB
- ♿ HANDICAP PARKING STALL
- FIRE HYDRANT
- ⊕ FIRE DEPARTMENT CONNECTION
- ⊕ POWER POLE
- BOLLARD
- ⊕ WATER METER
- × WATER VALVE
- CATCH BASIN

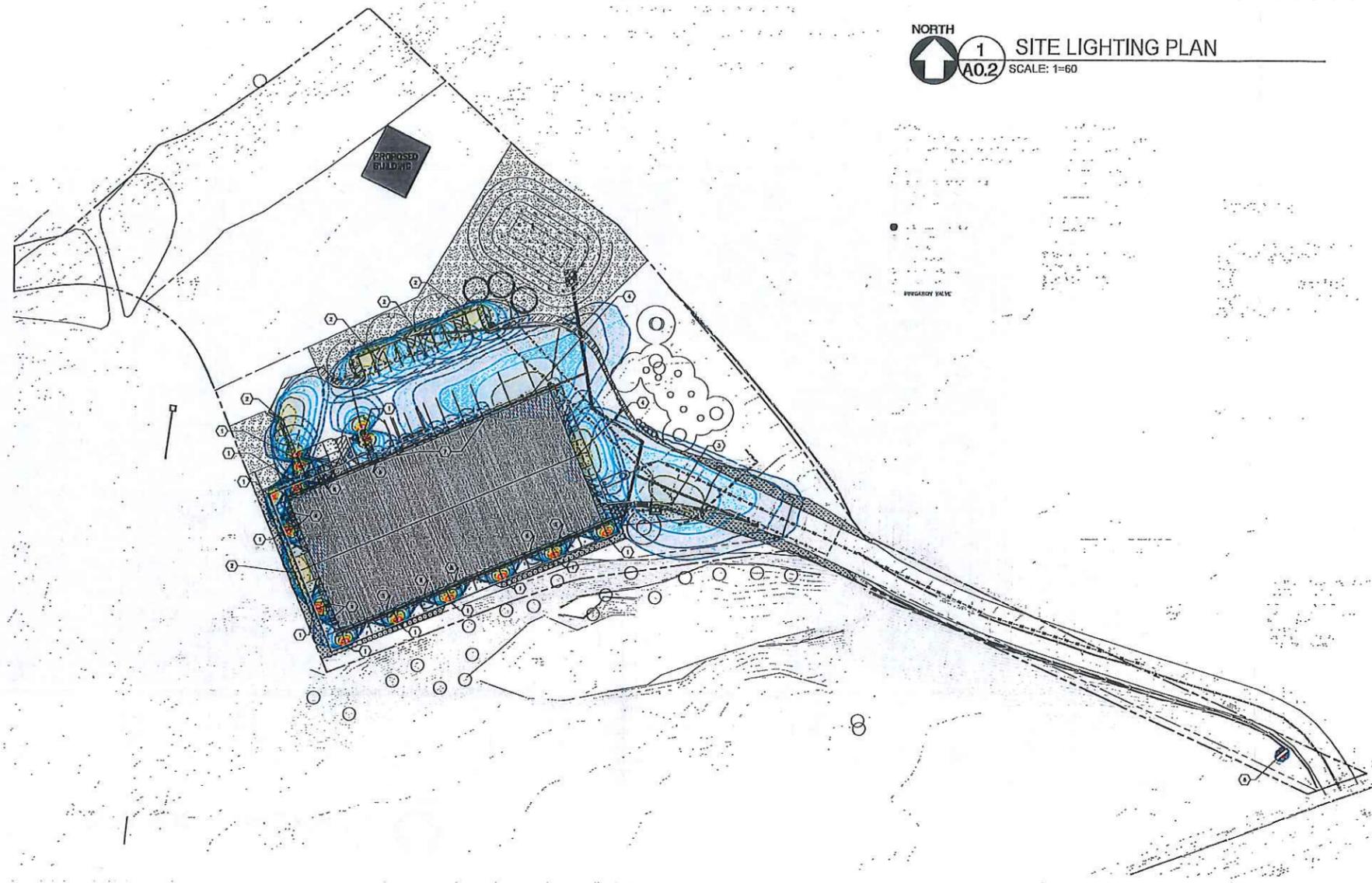
KEYNOTES

- 1 REMOVE EXISTING RETAINING WALL
- 2 REMOVE EXISTING TREES-- TYPICAL, SEE CIVIL DRAWINGS FOR MORE INFORMATION
- 3 PROVIDE A 6" INTEGRAL CONCRETE CURB-- TYPICAL SEE CIVIL DRAWINGS FOR MORE INFORMATION
- 4 PROVIDE CONCRETE WHEELSTOPS-- SEE CIVIL DRAWINGS FOR MORE INFORMATION
- 5 BIKE RACK LOCATION-- FINAL STYLE TO BE DETERMINED
- 6 PROVIDE FOUNDATION DRAIN AROUND ENTIRE BUILDING; CONNECT ROOF DRAINS AND RETAINING WALL DRAINAGE TO LOOP
- 7 LOCATION OF WHERE TO ALIGN NEW PAVING AND STOP CURB APPROXIMATELY
- 8 EXISTING PAVED DRIVE

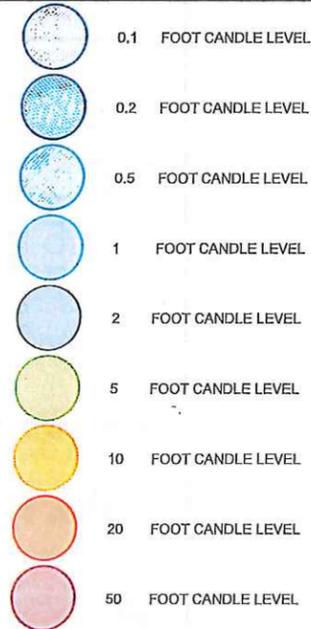
GENERAL NOTES

1. PROVIDE 5'-0" MIN. BUFFER BETWEEN PROPERTY ABUTTING RC, LI & P/OS ZONES PER CHAPTER 8-6.104 LANDSCAPING & BEAUTIFICATION SECTION OF THE CASCADE LOCKS COMMUNITY DEVELOPMENT CODE REQUIRED LANDSCAPING TO BE MAINTAINED FOR 3 YEARS MINIMUM, SEE LANDSCAPE DRAWINGS FOR MORE INFORMATION
2. PARKING: 1 SPACE PER 2000 SF 12 STANDARD 9'X18' SPACES 1 ADA SPACE PER FIRST 50 SPACES REQUIRED. 1 BICYCLE SPACE PER EVERY 10 PARKING SPACES; TWO (2) 2.5'X6' SPACES REQUIRED. LOADING SPACES 1 PER 10,000 SF 2 REQUIRED.
3. FENCE PROPERTY WITH 6'-0" CYCLONE FENCE & SLATS.

E:\desd\17\0218.00 Heuker Bro\00 CURRENT\A0.1 SITE PLAN.dwg Oct 24, 2018 - 9:19am



LEGEND: FOOT CANDLE DISTRIBUTION



KEYNOTES

- 1 BOLLARD LIGHTING @ 4'-0" ABOVE GRADE
- 2 POLE LIGHTING @ 14'-6" ABOVE GRADE
- 3 POLE MOUNTED AREA LIGHTING WITH 4'-0" ARM @ 20'-0" ABOVE GRADE
- 4 WALL MOUNTED AREA LIGHTING @ 22'-0" ABOVE FINISH FLOOR
- 5 WALL MOUNTED DOWN LIGHT @ 9'-0" ABOVE FINISH FLOOR
- 6 RECESSED OR SURFACE MOUNTED DOWN LIGHT @ 11'-6" ABOVE FINISH FLOOR
- 7 RECESSED OR SURFACE MOUNTED DOWN LIGHT UNDER CANOPY APPROXIMATELY EIGHT (8) FIXTURES @ 14'-3" ABOVE FINISH FLOOR
- 8 IN GROUND FLOOD LIGHT EACH SIDE OF MONUMENT SIGN

GENERAL NOTES

1. LIGHTING DESIGN IS BASED ON DISTRIBUTION LEVELS FROM FIXTURES SELECTED FROM LIGMAN LIGHTING COMPANY. FINAL FIXTURE SELECTIONS ARE TO BE DETERMINED, AND IF ARE MODIFIED FROM CURRENT SELECTIONS, WILL MEET OR EXCEED LIGMAN LIGHTING COMPANY'S LEVEL OF FIXTURE QUALITY AND LIGHTING LEVEL DISTRIBUTION CURRENTLY SHOWN.

PRELIMINARY
PLAN
ONLY-NOT
FOR
CONSTRUCTION

ISSUED DATE
1 SITE PLAN REVIEW
10.22.2018



15895 SW 72ND AVE SUITE 200
PORTLAND, OREGON 97224
TEL: 503.228.1285
FAX: 503.228.1870
WWW.CIDAINC.COM

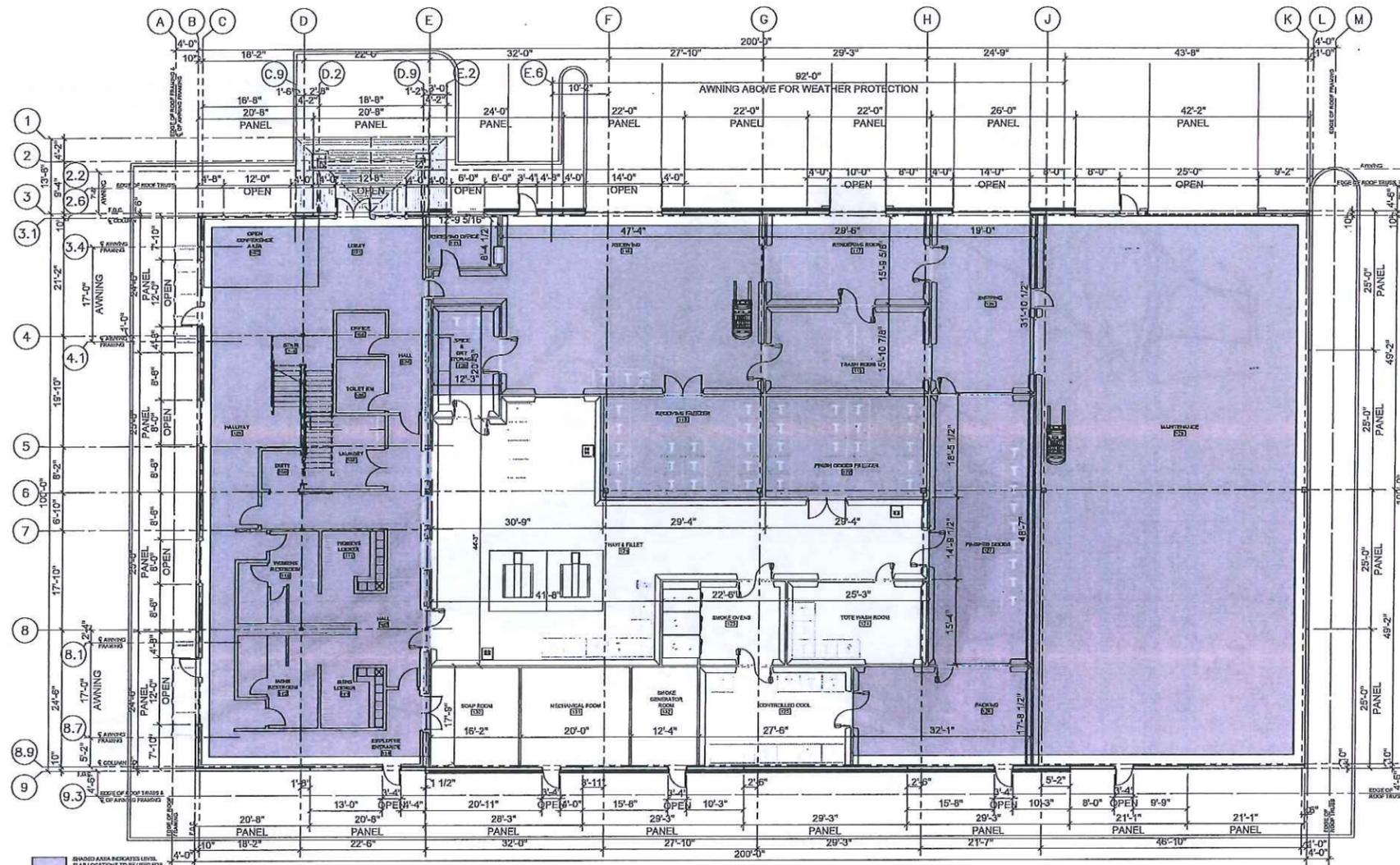
(NEW CONSTRUCTION) FOR
HEUKER BROTHERS
LOT 4
CASCADE LOCKS,
OREGON

SITE LIGHTING PLAN

A0.2

JOB NO. 170218.01

© 2017 CIDA, P.C./CEA ALL RIGHTS RESERVED



NORTH
1 BUILDING FLOOR PLAN
 A11
 1/16" = 1'-0"

LEGEND

1. X

GENERAL NOTES

1. APPLICABLE CODES: ALL WORK SHALL BE IN CONFORMANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES. SPECIFICATIONS AND STANDARDS SHALL MEAN, AND ARE INTENDED TO BE, THE LATEST EDITION, AMENDMENT OR REVISION OF SUCH REFERENCE STANDARD IN EFFECT AS OF THE DATE OF THE CONTRACT DOCUMENTS.
2. FIRE EXTINGUISHERS SHALL BE LOCATED AS REQUIRED BY SECTION 906, IFC. COORDINATE LOCATION WITH FIRE MARSHALL.
3. GLASS USED IN DOORS OR GLAZING LOCATED WITHIN A 24" ARC OF THE NEAREST VERTICAL EDGE OF A DOOR OR IN AREAS SUBJECT TO HUMAN IMPACT OR OTHER HAZARDOUS LOCATIONS SHALL BE TEMPERED OR OF AN APPROVED SAFETY GLAZING MATERIAL PER SECTION 2406, IBC.
4. LIGHT AND VENTILATION NOT INDICATED ON THESE PLANS SHALL BE PROVIDED AS PER SECTION 1203 & 1205 OF THE OSSC.
5. ALL INSULATION INDICATED ON PLANS SHALL COMPLY WITH OR EXCEED THE REQUIREMENTS IN SECTION 719, OSSC FOR SMOKE DENSITY AND FLAME SPREAD.
6. ROOFING MATERIAL INDICATED ON PLANS SHALL MEET OR EXCEED THE REQUIREMENTS OF SECTION 1507, OSSC.
7. PROVIDE SIGN STATING "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" PER SECTION 1008.1.8.3, OSSC ON ALL LOCKING ENTRANCE DOORS—COORDINATE WITH DOOR SCHEDULE.
8. PROVIDE EXIT ILLUMINATION AND SIGNAGE PER SECTION 1006 & SIGNAGE PER SECTION 1011 OF THE OSSC.
9. CONTRACTOR SHALL COORDINATE ALL NECESSARY TESTING AND REQUIRED INSPECTIONS.
10. ALL HARDWARE SHALL COMPLY WITH REQUIREMENTS OF THE ADA.
11. ALL DOORS AND WINDOWS SHALL COMPLY WITH APPLICABLE ENERGY CODES.
12. INSTALL A VAPOR BARRIER OF ONE PERM OR LESS AT THE WARM SIDE (IN WINTER) OF ALL EXTERIOR WALLS, ROOF AND CEILING
13. R-VALUES INDICATED ON PLANS REPRESENT MINIMUM PERFORMANCE REQUIREMENTS. BATT INSULATION INSTALLED IN METAL OR WOOD FRAMED WALLS SHALL ALSO BE INSULATED TO THE FULL DEPTH OF THE CAVITY, UP TO 6 INCHES IN DEPTH PER TABLE 13E OF THE OSSC.
14. ALL INTERIOR DIMENSIONS TO FACE OF IMP UNLESS NOTED OTHERWISE.
15. ALL EXPOSED STEEL BELOW IMP CEILING HEIGHT SHALL BE PREFABRICATED & WELDED OFFSITE, FULLY HOT DIPPED GALVANIZED. ALL STEEL SHALL HAVE AN SP-5 LEVEL PREP MINIMUM PRIOR TO PROCESS. ANY EXPOSED STEEL BELOW IMP CEILING HEIGHT THAT MUST BE WELDED ONSITE MUST BE STAINLESS STEEL, AND NOT GALVANIZED. ALL GALVANIZED ONSITE CONNECTION TO BE BOLTED. GALVANIZE PER ASTM A123 STANDARD, 3.9 MILS OF CONTINUOUS COVERAGE. PRE DRILL DRAIN HOLES IN PLATE OR COLUMN BASES PRIOR TO HOT DIP GALVANIZATION PROCESS SO THE COATING IS NOT COMPROMISED.

PRELIMINARY PLAN
 ONLY-NOT FOR
 CONSTRUCTION

ISSUED DATE
 1 SITE PLAN REVIEW
 10.22.2018



15895 SW 72ND AVE SUITE 200
 PORTLAND, OREGON 97224
 TEL: 503.226.1285
 FAX: 503.226.1670
 WWW.CIDAINC.COM

(NEW CONSTRUCTION) FOR
 HEUKER BROTHERS
 LOT 4
 CASCADE LOCKS,
 OREGON

FLOOR PLAN
 GROUND LEVEL

A11

JOB NO. 170218.01

© 2017 CIDA, P.C./CIDA ALL RIGHTS RESERVED

PRELIMINARY
PLAN
ONLY-NOT
FOR
CONSTRUCTION

ISSUED DATE
1 SITE PLAN REVIEW
10.22.2018



15895 SW 72ND AVE SUITE 200
PORTLAND, OREGON 97224
TEL: 503.226.1285
FAX: 503.226.1670
WWW.CIDAINC.COM

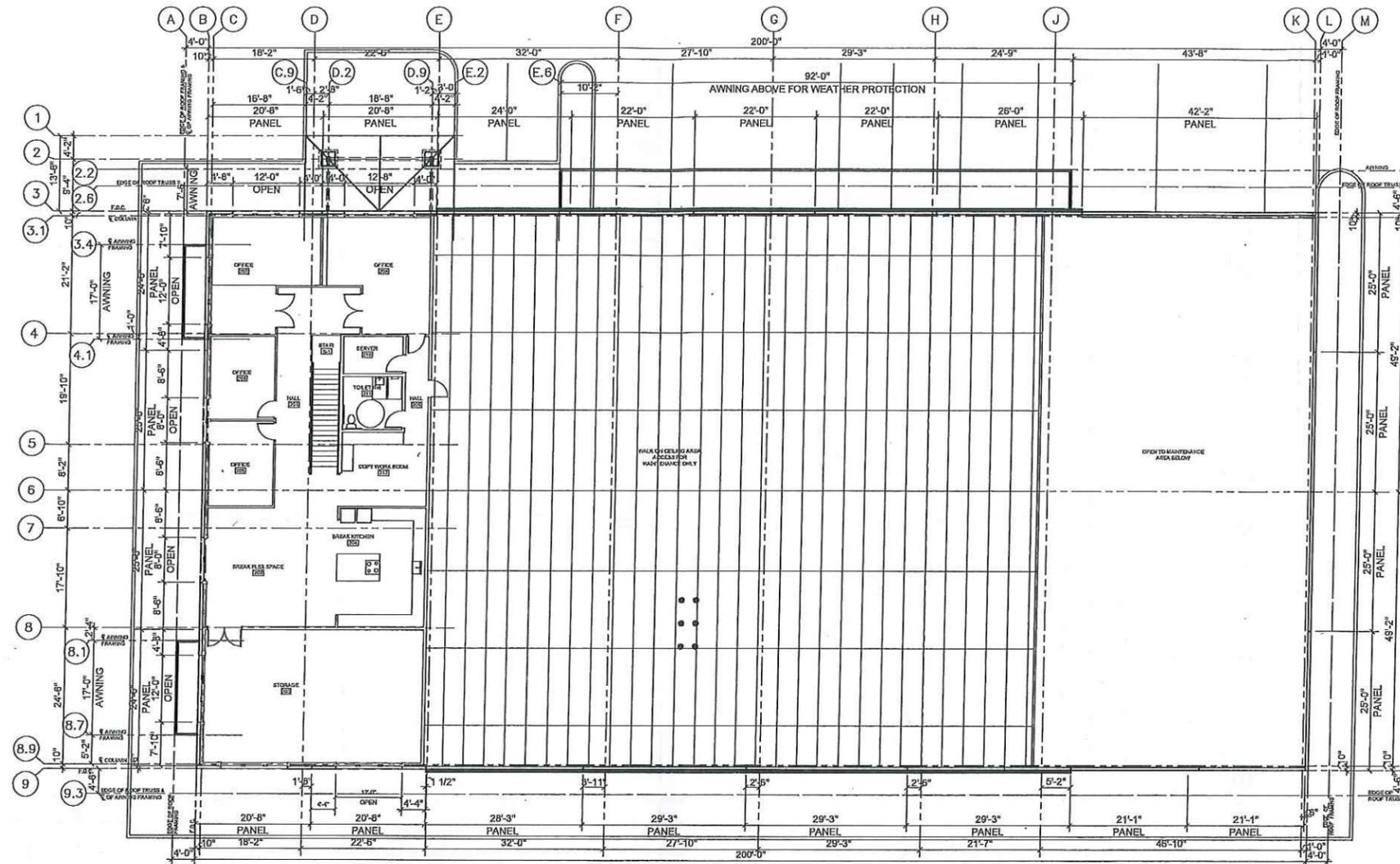
(NEW CONSTRUCTION) FOR
HEUKER BROTHERS
LOT 4
CASCADE LOCKS,
OREGON

FLOOR PLAN
SECOND LEVEL

A1.5

JOB NO. 170218.01

© 2017 CIDA, P.C./CIDA ALL RIGHTS RESERVED



NORTH
1 SECOND FLOOR PLAN
A1.5 1/16" = 1'-0"

GENERAL NOTES

1. APPLICABLE CODES: ALL WORK SHALL BE IN CONFORMANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES. SPECIFICATIONS AND STANDARDS SHALL MEAN, AND ARE INTENDED TO BE, THE LATEST EDITION, AMENDMENT OR REVISION OF SUCH REFERENCE STANDARD IN EFFECT AS OF THE DATE OF THE CONTRACT DOCUMENTS.
2. FIRE EXTINGUISHERS SHALL BE LOCATED AS REQUIRED BY SECTION 906, IFC. COORDINATE LOCATION WITH FIRE MARSHALL.
3. GLASS USED IN DOORS OR GLAZING LOCATED WITHIN A 24" ARC OF THE NEAREST VERTICAL EDGE OF A DOOR OR IN AREAS SUBJECT TO HUMAN IMPACT OR OTHER HAZARDOUS LOCATIONS SHALL BE TEMPERED OR OF AN APPROVED SAFETY GLAZING MATERIAL PER SECTION 2406, IBC.
4. LIGHT AND VENTILATION NOT INDICATED ON THESE PLANS SHALL BE PROVIDED AS PER SECTION 1203 & 1205 OF THE OSSC.
5. ALL INSULATION INDICATED ON PLANS SHALL COMPLY WITH OR EXCEED THE REQUIREMENTS IN SECTION 719, OSSC FOR SMOKE DENSITY AND FLAME SPREAD.
6. ROOFING MATERIAL INDICATED ON PLANS SHALL MEET OR EXCEED THE REQUIREMENTS OF SECTION 1507, OSSC.
7. PROVIDE SIGN STATING "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" PER SECTION 1008.1.8.3, OSSC ON ALL LOCKING ENTRANCE DOORS—COORDINATE WITH DOOR SCHEDULE.
8. PROVIDE EXIT ILLUMINATION AND SIGNAGE PER SECTION 1006 & SIGNAGE PER SECTION 1011 OF THE OSSC.
9. CONTRACTOR SHALL COORDINATE ALL NECESSARY TESTING AND REQUIRED INSPECTIONS.
10. ALL HARDWARE SHALL COMPLY WITH REQUIREMENTS OF THE ADA.
11. ALL DOORS AND WINDOWS SHALL COMPLY WITH APPLICABLE ENERGY CODES.
12. INSTALL A VAPOR BARRIER OF ONE PERM OR LESS AT THE WARM SIDE (IN WINTER) OF ALL EXTERIOR WALLS, ROOF AND CEILING
13. R-VALUES INDICATED ON PLANS REPRESENT MINIMUM PERFORMANCE REQUIREMENTS. BATT INSULATION INSTALLED IN METAL OR WOOD FRAMED WALLS SHALL ALSO BE INSULATED TO THE FULL DEPTH OF THE CAVITY, UP TO 6 INCHES IN DEPTH PER TABLE 13E OF THE OSSC.
14. ALL INTERIOR DIMENSIONS TO FACE OF IMP UNLESS NOTED OTHERWISE.
15. ALL EXPOSED STEEL BELOW IMP CEILING HEIGHT SHALL BE PREFABRICATED & WELDED OFFSITE, FULLY HOT DIPPED GALVANIZED. ALL STEEL SHALL HAVE AN SP-6 LEVEL PREP MINIMUM PRIOR TO PROCESS. ANY EXPOSED STEEL BELOW IMP CEILING HEIGHT THAT MUST BE WELDED ONSITE MUST BE STAINLESS STEEL, AND NOT GALVANIZED. ALL GALVANIZED ONSITE CONNECTION TO BE BOLTED. GALVANIZE PER ASTM A123 STANDARD, 3.9 MILS OF CONTINUOUS COVERAGE. PRE DRILL DRAIN HOLES IN PLATE OR COLUMN BASES PRIOR TO HOT DIP GALVANIZATION PROCESS SO THE COATING IS NOT COMPROMISED.

PRELIMINARY
PLAN
ONLY-NOT
FOR
CONSTRUCTION

ISSUED DATE
1 SITE PLAN REVIEW
10.22.2018



15895 SW 72ND AVE SUITE 200
PORTLAND, OREGON 97224
TEL: 503.226.1285
FAX: 503.226.1570
WWW.CIDAINC.COM

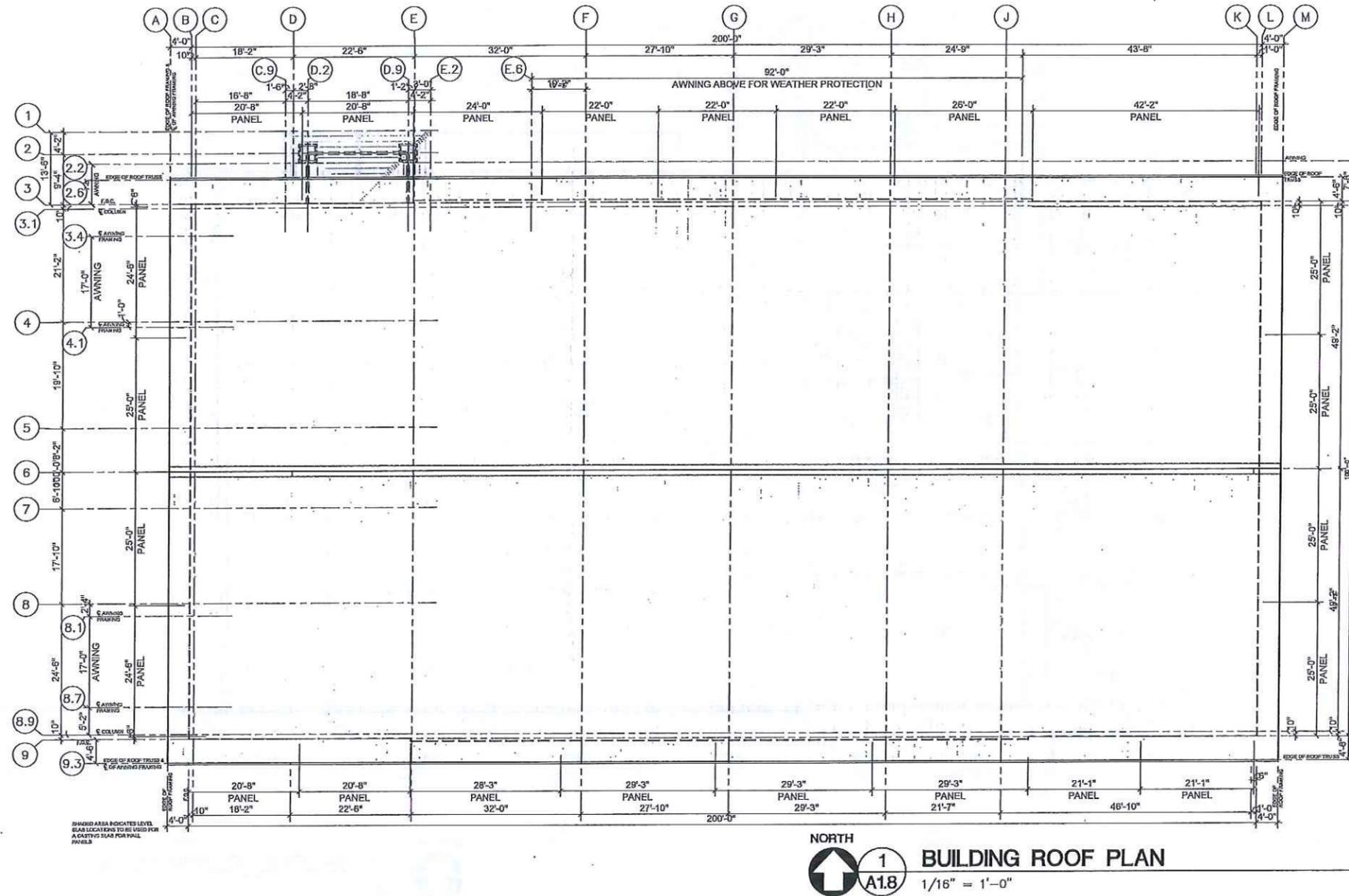
(NEW CONSTRUCTION) FOR
HEUKER BROTHERS
LOT 4
CASCADE LOCKS,
OREGON

ROOF PLAN

A1.8

JOB NO. 170218.01

© 2017 CIDA, P.C./IDA ALL RIGHTS RESERVED

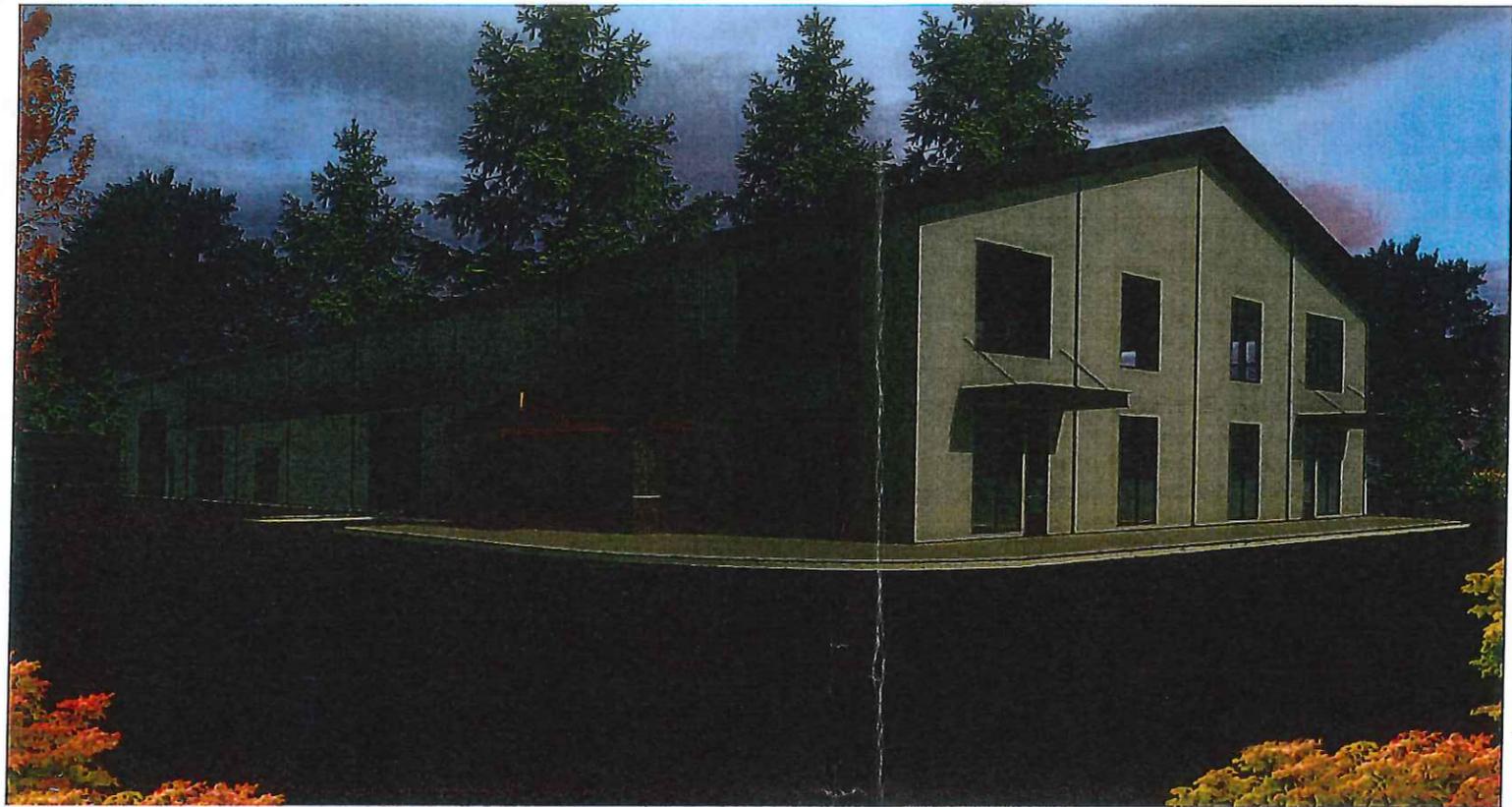


GENERAL NOTES

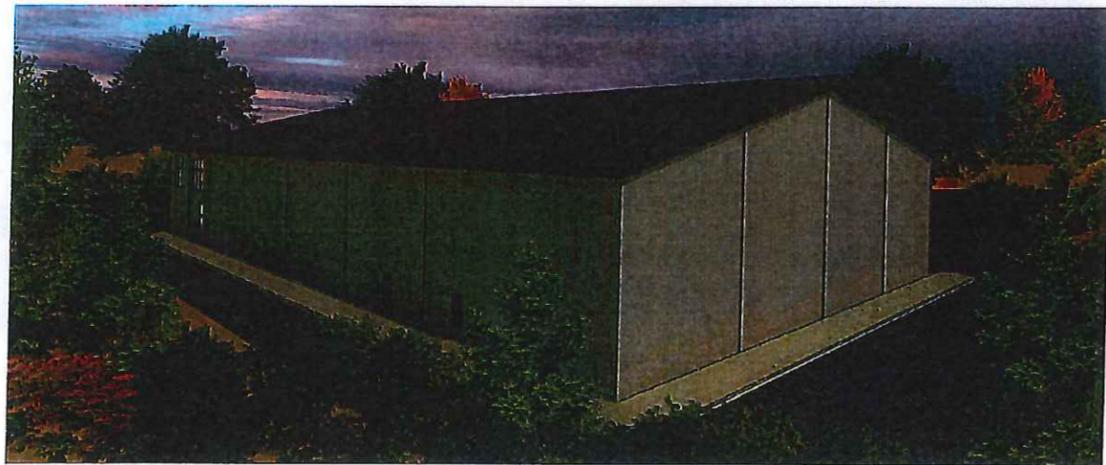
1. APPLICABLE CODES: ALL WORK SHALL BE IN CONFORMANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES. SPECIFICATIONS AND STANDARDS SHALL MEAN, AND ARE INTENDED TO BE, THE LATEST EDITION, AMENDMENT OR REVISION OF SUCH REFERENCE STANDARD IN EFFECT AS OF THE DATE OF THE CONTRACT DOCUMENTS.
2. FIRE EXTINGUISHERS SHALL BE LOCATED AS REQUIRED BY SECTION 906, IFC. COORDINATE LOCATION WITH FIRE MARSHALL.
3. GLASS USED IN DOORS OR GLAZING LOCATED WITHIN A 24" ARC OF THE NEAREST VERTICAL EDGE OF A DOOR OR IN AREAS SUBJECT TO HUMAN IMPACT OR OTHER HAZARDOUS LOCATIONS SHALL BE TEMPERED OR OF AN APPROVED SAFETY GLAZING MATERIAL PER SECTION 2406, IBC.
4. LIGHT AND VENTILATION NOT INDICATED ON THESE PLANS SHALL BE PROVIDED AS PER SECTION 1203 & 1205 OF THE OSSC.
5. ALL INSULATION INDICATED ON PLANS SHALL COMPLY WITH OR EXCEED THE REQUIREMENTS IN SECTION 719, OSSC FOR SMOKE DENSITY AND FLAME SPREAD.
6. ROOFING MATERIAL INDICATED ON PLANS SHALL MEET OR EXCEED THE REQUIREMENTS OF SECTION 1507, OSSC.

7. PROVIDE SIGN STATING "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" PER SECTION 1008.1.8.3, OSSC ON ALL LOCKING ENTRANCE DOORS—COORDINATE WITH DOOR SCHEDULE.
8. PROVIDE EXIT ILLUMINATION AND SIGNAGE PER SECTION 1006 & SIGNAGE PER SECTION 1011 OF THE OSSC.
9. CONTRACTOR SHALL COORDINATE ALL NECESSARY TESTING AND REQUIRED INSPECTIONS.
10. ALL HARDWARE SHALL COMPLY WITH REQUIREMENTS OF THE ADA.
11. ALL DOORS AND WINDOWS SHALL COMPLY WITH APPLICABLE ENERGY CODES.
12. INSTALL A VAPOR BARRIER OF ONE PERM OR LESS AT THE WARM SIDE (IN WINTER) OF ALL EXTERIOR WALLS, ROOF AND CEILING
13. R-VALUES INDICATED ON PLANS REPRESENT MINIMUM PERFORMANCE REQUIREMENTS. BATT INSULATION INSTALLED IN METAL OR WOOD FRAMED WALLS SHALL ALSO BE INSULATED TO THE FULL DEPTH OF THE CAVITY, UP TO 6 INCHES IN DEPTH PER TABLE 13E OF THE OSSC.
14. ALL INTERIOR DIMENSIONS TO FACE OF IMP UNLESS NOTED OTHERWISE.

15. ALL EXPOSED STEEL BELOW IMP CEILING HEIGHT SHALL BE PREFABRICATED & WELDED OFFSITE, FULLY HOT DIPPED GALVANIZED. ALL STEEL SHALL HAVE AN SP-6 LEVEL PREP MINIMUM PRIOR TO PROCESS. ANY EXPOSED STEEL BELOW IMP CEILING HEIGHT THAT MUST BE WELDED ONSITE MUST BE STAINLESS STEEL, AND NOT GALVANIZED. ALL GALVANIZED ONSITE CONNECTION TO BE BOLTED. GALVANIZE PER ASTM A123 STANDARD, 3.9 MILS OF CONTINUOUS COVERAGE. PRE DRILL DRAIN HOLES IN PLATE OR COLUMN BASES PRIOR TO HOT DIP GALVANIZATION PROCESS SO THE COATING IS NOT COMPROMISED.



1 VIEW FROM THE WEST
A2.0 SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
A2.0 SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
A2.0 SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
A2.0 SCALE: 1/8" = 1'-0"

PRELIMINARY
PLAN
ONLY-NOT
FOR
CONSTRUCTION

ISSUED DATE
1 10.22.2018
SITE PLAN REVIEW

CIDA
ARCHITECTURE
ENGINEERING
PLANNING
INTERIORS

15895 SW 72ND AVE SUITE 200
PORTLAND, OREGON 97224
TEL: 503.226.1285
FAX: 503.226.1870
WWW.CIDAINC.COM

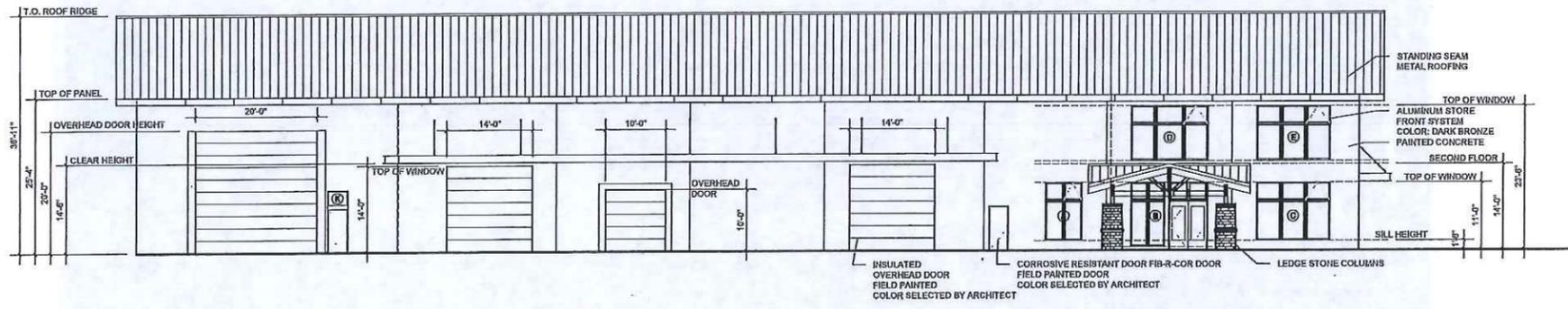
(NEW CONSTRUCTION) FOR
HEUKER BROTHERS
LOT 4
CASCADE LOCKS,
OREGON

RENDERING

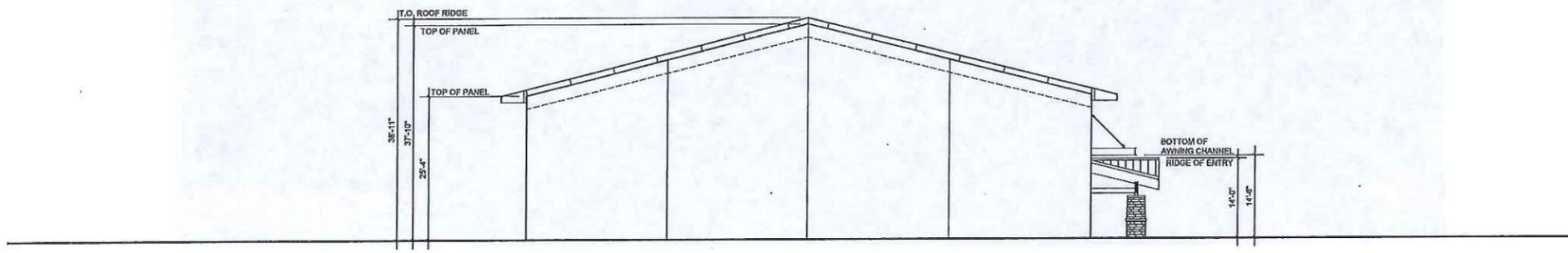
A2.0

JOB NO. 170218.01

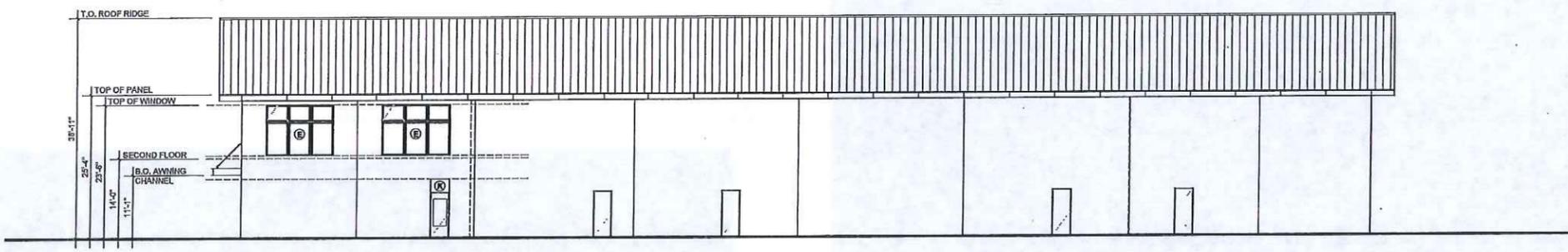
© 2017 CIDA, P.A./CIDA ALL RIGHTS RESERVED



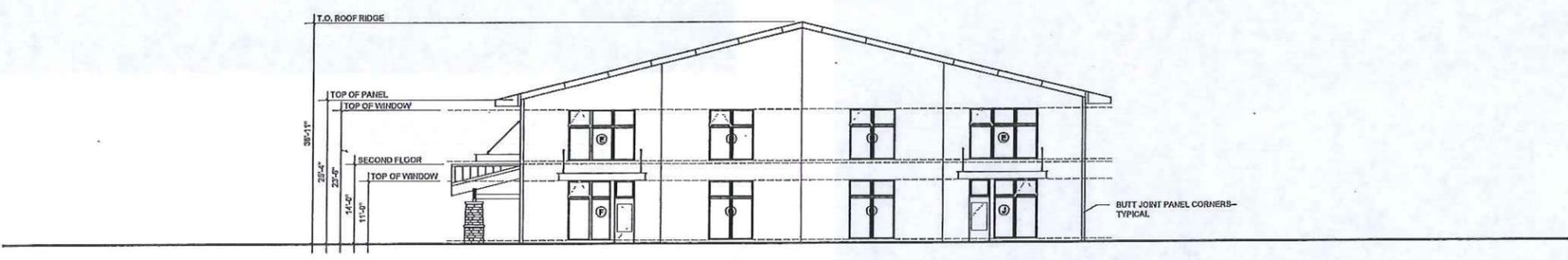
1 NORTH ELEVATION
A2.1 SCALE: 1/16" = 1'-0"



2 EAST ELEVATION
A2.1 SCALE: 1/16" = 1'-0"



3 SOUTH ELEVATION
A2.1 SCALE: 1/16" = 1'-0"



4 WEST ELEVATION
A2.1 SCALE: 1/16" = 1'-0"

PRELIMINARY
 PLAN
 ONLY-NOT
 FOR
 CONSTRUCTION

ISSUED DATE 10.22.2018
 1 SITE PLAN REVIEW



15895 SW 72ND AVE SUITE 200
 PORTLAND, OREGON 97224
 TEL: 503.226.1285
 FAX: 503.226.1670
 WWW.CIDAINC.COM

(NEW CONSTRUCTION) FOR
 HEUKER BROTHERS
 LOT 4
 CASCADE LOCKS,
 OREGON

ELEVATIONS

A2.1

JOB NO. 170218.01
 © 2017 CIDA, P.C./CIDA ALL RIGHTS RESERVED

c:\Users\jessica\appdata\local\temp\appdata\local\11109\A2.1 ELEVATION.dwg Oct 18, 2018 - 12:24pm